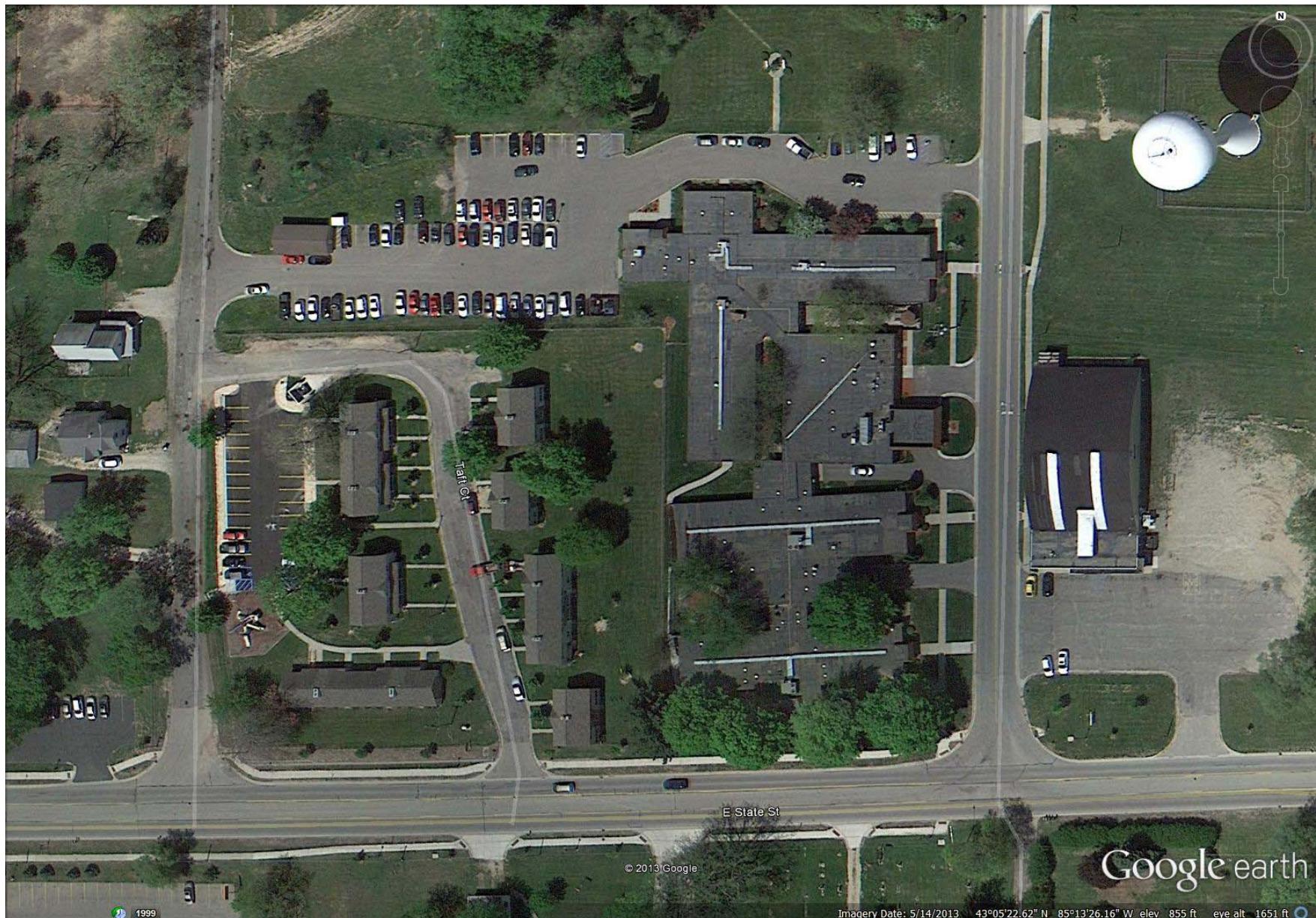


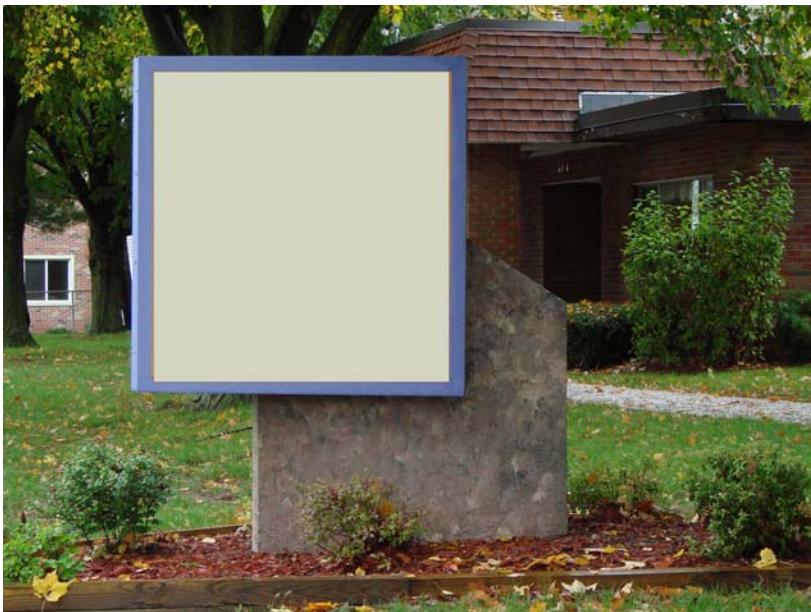
**The Willows @ Anytown**  
414 E Street., Anytown, USA 01995  
PH 987-654-3210 \* FAX 987-654-3211



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001\_MI\_1: Facility identification sign - southeast property corner.



002\_MI\_1: Front (east) elevation - Central Hall, East Hall.



003\_MI\_1: Facility identification sign - southeast property corner.



004\_MI\_1: Fascia detail - fascia needs repairs.

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005\_MI\_1: Fascia detail - fascia needs repairs.



006\_MI\_1: Fascia detail - fascia needs repairs.



007\_MI\_1: Fascia detail - fascia needs repairs.



008\_MI\_1: Water running off edge of roof due to poor roof drainage.

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009\_MI\_1: Water faucet - insulation needs to be monitored for deterioration and maintained.



010\_MI\_1: Water running off edge of roof due to poor roof drainage.



011\_MI\_1: Water running off edge of roof due to poor roof drainage.



012\_MI\_1: Vinyl fence enclosing courtyard between South 2 and South 1 Halls.

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013\_MI\_1: Acoustical grid ceiling at South Hall 1 west exit.



014\_MI\_1: Intersecting- building additions - West Hall (1980's) and South 1 Hall (1960's).



015\_MI\_1: West elevation of West Hall looking north.



016\_MI\_1: Detail - mortar joint crack at brick lintel - runs length of west elevation of West Hall.

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017\_MI\_1: Landscaped area between West Hall (1980s) and Central Hall (1974).



018\_MI\_1: Building configuration - between Central Hall (1974) and West Hall (1980's).



019\_MI\_1: Detail - curious foundation detail - concrete block protrusion.



020\_MI\_1: Parking lot behind facility West Hall.

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021\_MI\_1: Trash dumpster in west parking lot.



022\_MI\_1: Parking lot - west side of building.



023\_MI\_1: Parking lot - west side of building.



024\_MI\_1: Parking lot detail - asphalt paving needs to be sealed and striped.

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025\_MI\_1: Storage building at rear of parking lot, note parking lot lighting.



026\_MI\_1: Parking lot detail - asphalt paving needs to be sealed and striped.



027\_MI\_1: Main facility entrance & outpatient therapy.



028\_MI\_1: East Hall north elevation looking east.

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029\_MI\_1: Front east elevation of Central Hall and East Hall.



031\_MI\_1: Lose shingle at parapet wall above East Hall exit.



030\_MI\_1: Rust stains at East Hall exit awning ceiling.



032\_MI\_1: Fire sprinkler connection, courtyard between Central Hall and East Hall.

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033\_MI\_1: Central Hall - mechanical room doors.



034\_MI\_1: Porte-cochere at Central Hall (administrative offices).



035\_MI\_1: Porte-cochere - pre-cast concrete planks with architectural -docks plank- finish.



036\_MI\_1: Porte-cochere entrance to Central Hall - administration offices.

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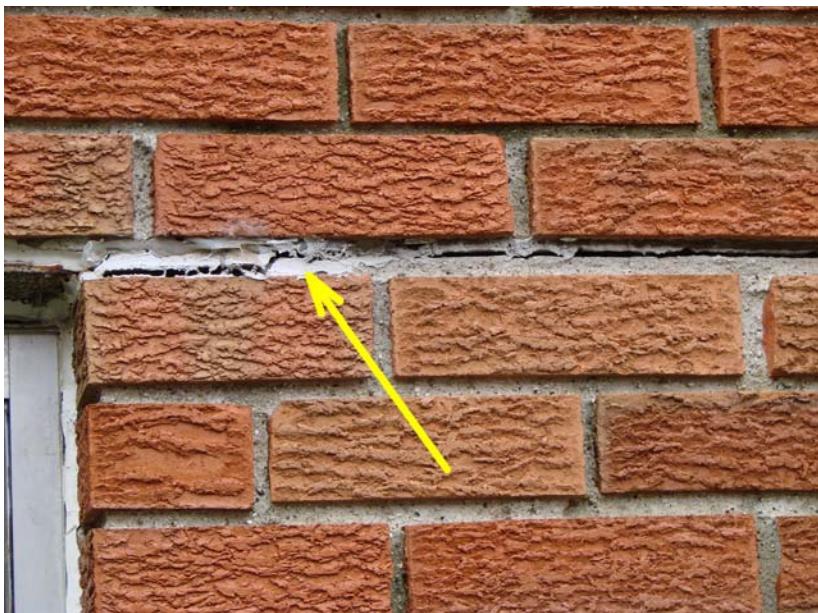
037\_MI\_1: Connection between South 1 (1960s) and Central Halls (1974).



038\_MI\_1: Detail - mortar joint crack at brick lintel - runs length of North elevation oF South 1 Hall.



039\_MI\_1: Cracking mortar joint at brick lintel.



040\_MI\_1: Detail - mortar joint crack at brick lintel.

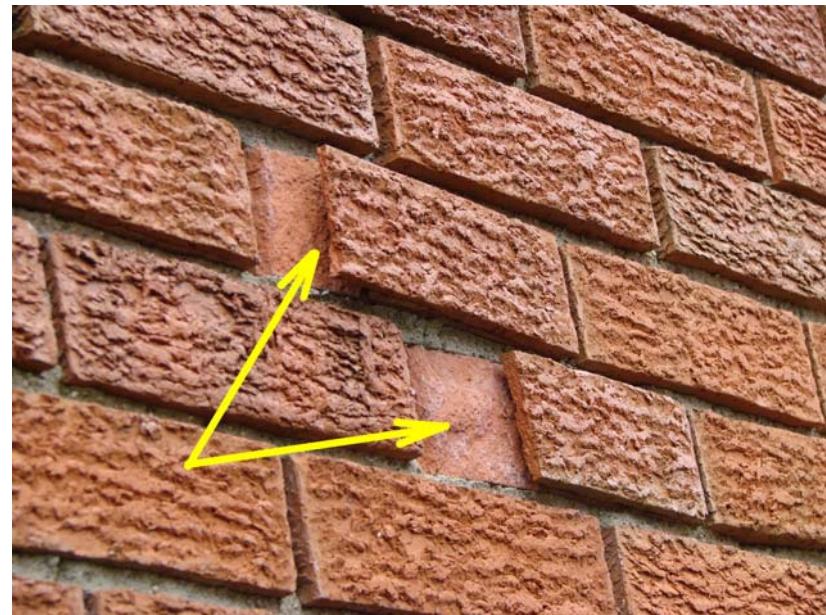
## The Willows @ Anytown

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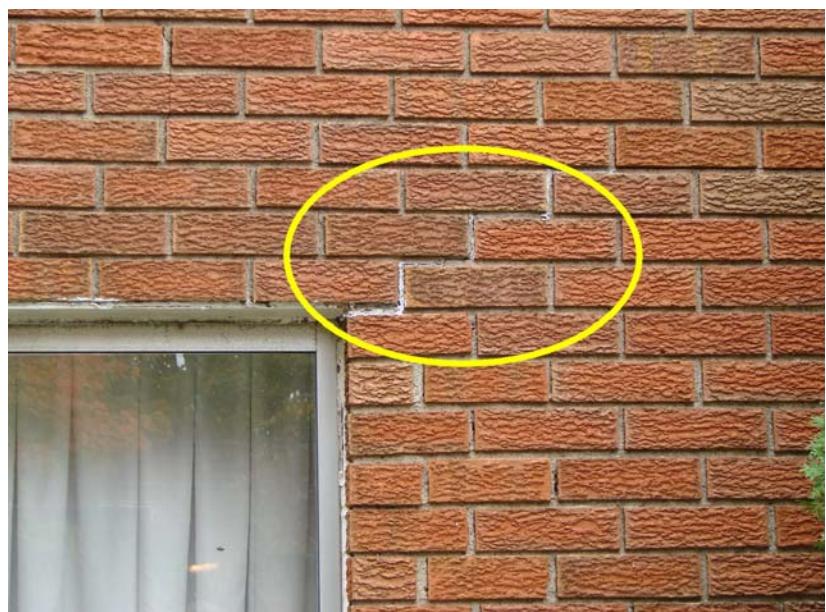
041\_MI\_1: Detail - mortar joint crack at brick lintel.



042\_MI\_1: Brick spalling - likely caused by freeze-thaw cycles.



043\_MI\_1: Detail - mortar joint crack at brick lintel - runs length of South elevation of South 1 Hall.



044\_MI\_1: Detail - mortar joint crack in South 2 Hall.

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045\_MI\_1: Detail - mortar joint crack in South 2 Hall.



047\_MI\_1: Asphalt paving deterioration at service drive to dumpster on the south side of South 1 Hall.



046\_MI\_1: Building connection between South 2 (1950's) and South 1 Halls (1960's).

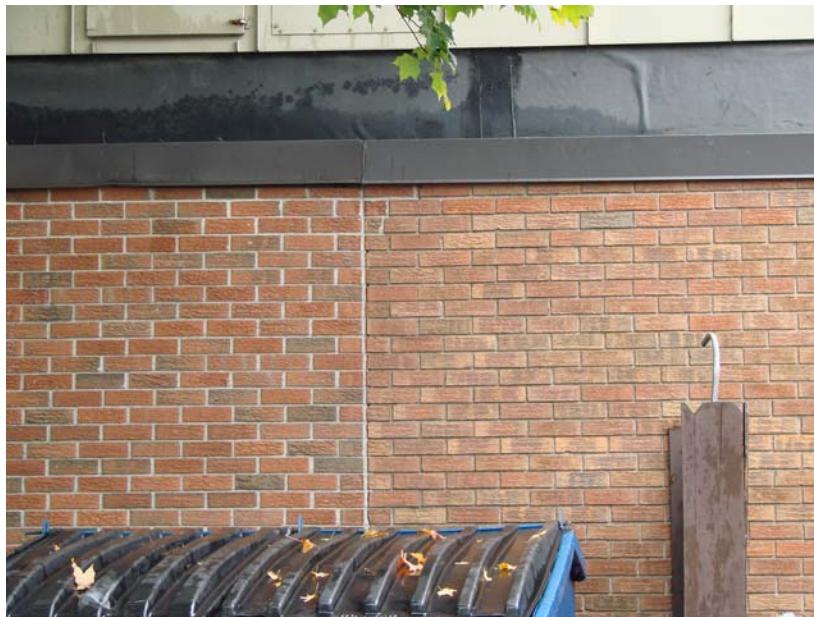


048\_MI\_1: Trash dumpster outside kitchen at South 1 Hall.

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049\_MI\_1: Detail - expansion joint at kitchen addition.



050\_MI\_1: Front (east) elevation - Central Hall, East Hall.



051\_MI\_1: Sitting room adjacent to administration offices.



052\_MI\_1: Conference room adjacent to administrative offices.

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053\_MI\_1: Administrative corridor (original) looking to dining room.



054\_MI\_1: Dining room at west end of Administrative Hall.



055\_MI\_1: Dining room at west end of Administrative Hall.



056\_MI\_1: Wal mural at south end of dining room.

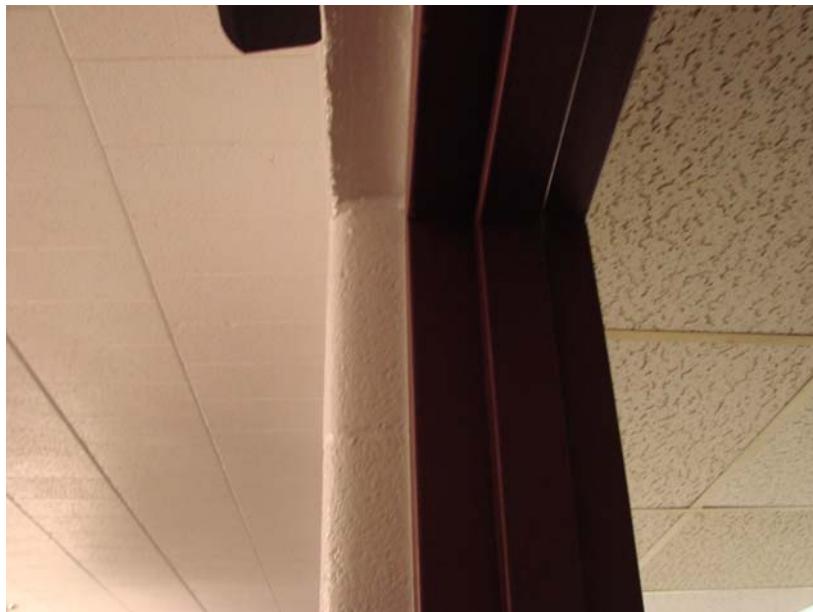
## The Willows @ Anytown

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057\_MI\_1: Dining room at west end of Administrative Hall - radiant heating units (water source).



059\_MI\_1: Detail - exposed ceiling in dining room & resident rooms; dropped acoustical grid ceiling in hall.



058\_MI\_1: Ceiling detail - pre-cast concrete plank ceiling with architectural -dock plank- finish.

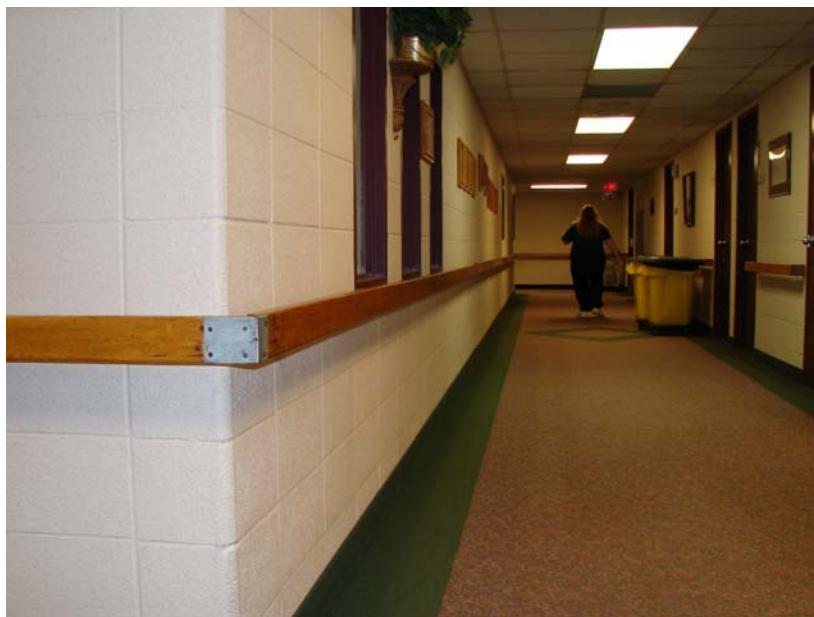


060\_MI\_1: Corridor -jog- to south from administrative corridor - leads to 1950's original building.

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061\_MI\_1: Corridor detail, Administrative Hall, carpet, carpet base, painted CMU block wall, acoustical grid ceiling.



062\_MI\_1: Control doors separating South 1 Hall from center administrative hall.



063\_MI\_1: South 1 Hall - 2nd addition (1960s).



064\_MI\_1: VCT tile crack where corridor floor ramps up from South 1 Hall to center administrative hall.

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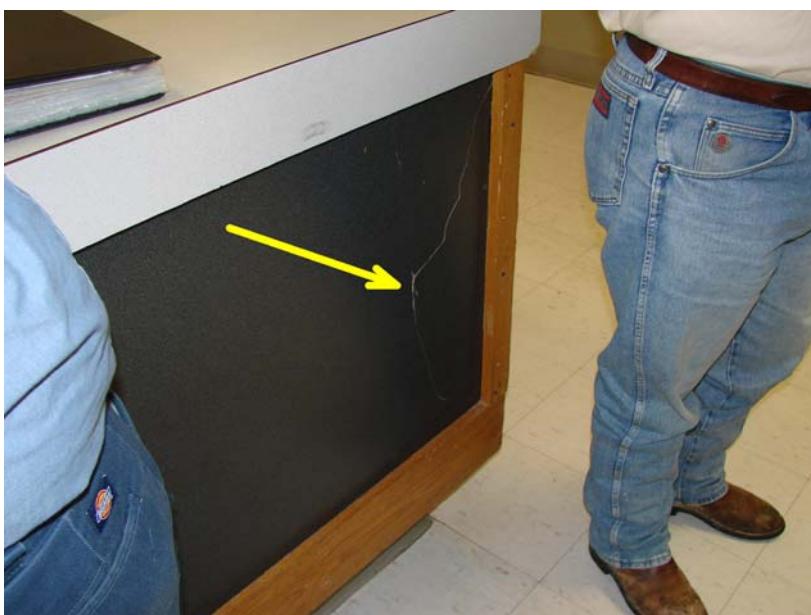
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065\_MI\_1: Fire sprinklers in maintenance office. Note facility is only partially sprinkled.



066\_MI\_1: South 1 nurse station.



067\_MI\_1: Nurse station detail - cracked laminate.



068\_MI\_1: Damaged laminate at nurse station.

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069\_MI\_1: Mircom nurse call, and Fire Watch fire alarm annunciator panels.



070\_MI\_1: South 1 Hall looking east from nurse station.



071\_MI\_1: South 1 east corridor exit to Hall street.



072\_MI\_1: Detail - wall base coming loose at door frame.

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073\_MI\_1: South 1 - 3-bed ward.



074\_MI\_1: South 1 - 3-bed ward.



075\_MI\_1: South 1 Hall looking west from nurse station - note finishes include VCT floor, vinyl base, painted CMU block wall, wood handrail, acoustical grid

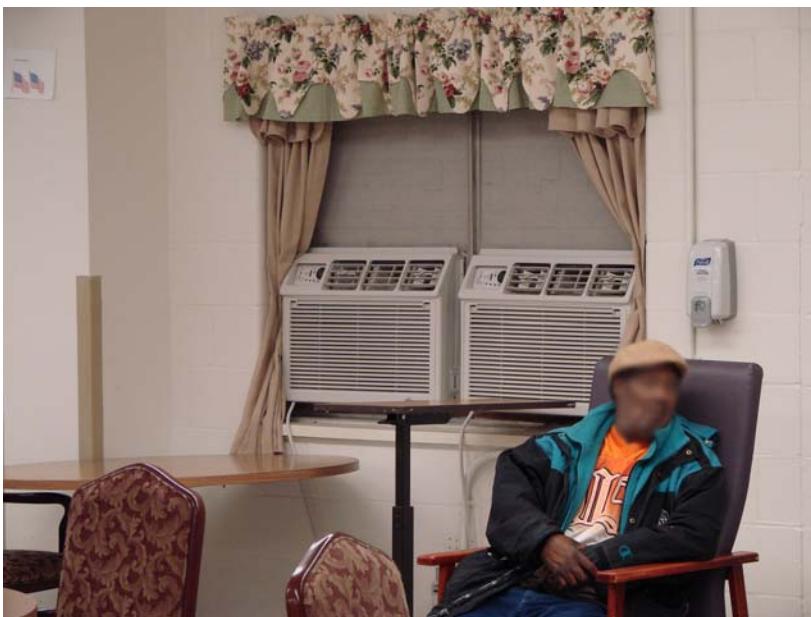


076\_MI\_1: South 1 dining room.

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077\_MI\_1: Window unit air conditioners in South 1 dining room.



078\_MI\_1: Dining room ceiling detail - tiles are warping at corners.



079\_MI\_1: South 1 tub-shower room - residential style tub.

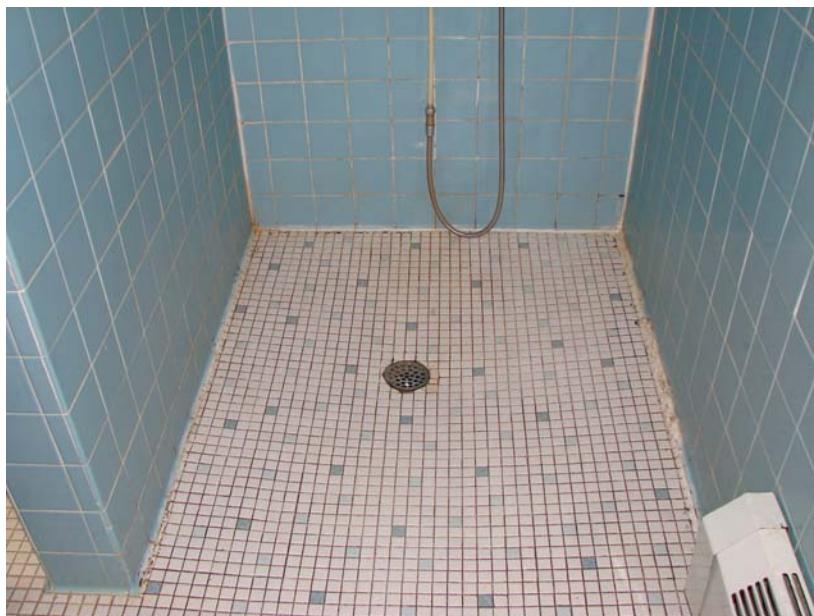


080\_MI\_1: South 1 tub-shower room.

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081\_MI\_1: Shower floor - poor-fair condition.



082\_MI\_1: South 1 corridor detail - staff is adding accent band above handrail.



083\_MI\_1: Corridor detail - staff is adding accent band above handrail.



084\_MI\_1: Kitchen - food preparation area.

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085\_MI\_1: Kitchen - food serving area - steam table.



086\_MI\_1: Ceiling detail - dirty ceiling tile at air conditioner vent.



087\_MI\_1: Kitchen - ice machine, wash-rinse sink.



088\_MI\_1: Kitchen - VCT floor tile repairs.

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089\_MI\_1: Kitchen - food preparation area - mixer.



090\_MI\_1: Kitchen - True 2-door reach-in refrigerator.



091\_MI\_1: Kitchen - Southbend 10-burner gas stove with double ovens.



092\_MI\_1: Kitchen - Southbend convection oven.

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093\_MI\_1: Kitchen - Thermo Kool walk-in cooler.



094\_MI\_1: Walk-in cooler floor detail.



095\_MI\_1: Walk-in cooler door detail - loose seal.



096\_MI\_1: Kitchen - Thermo Kool walk-in freezer.

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097\_MI\_1: Kitchen - dish washing area, food delivery carts.



098\_MI\_1: Kitchen - dishwashing equipment.



099\_MI\_1: Kitchen - dry storage.



100\_MI\_1: Narrow connecting corridor from South 1 Hall to South 2 Hall.

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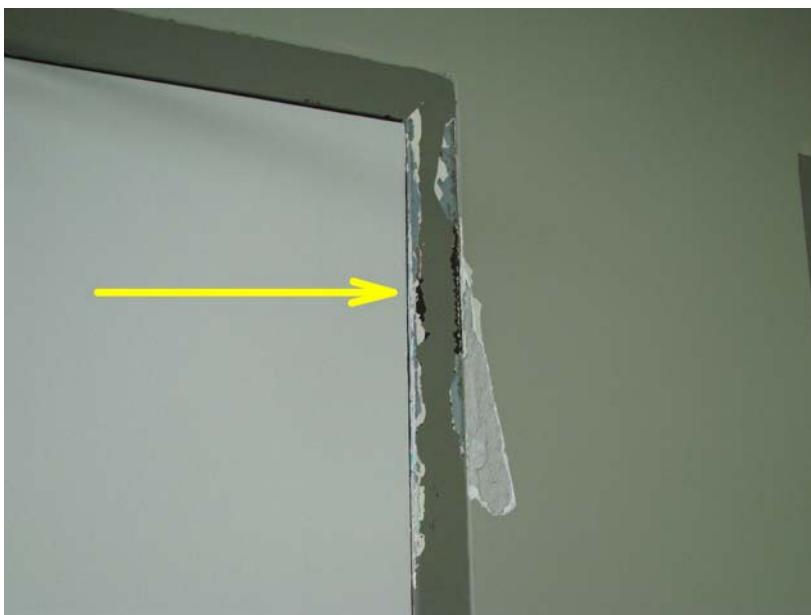
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101\_MI\_1: South 2 Hall looking south - note ceramic tile wainscot on corridor walls.



102\_MI\_1: Detail - approximately 4'-6- corridor width.



103\_MI\_1: Detail - paint peeling off metal doorframe.



104\_MI\_1: Ceiling detail - minimal space above corridor ceiling grid.

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105\_MI\_1: Trane electronic HVAC controls.



106\_MI\_1: Electrical sub-panels in South 2 Hall.



107\_MI\_1: South 2 nurse station.



108\_MI\_1: South 2 nurse station.

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109\_MI\_1: Mircom nurse call annunciator panel.



110\_MI\_1: South 2 nurse station.



111\_MI\_1: South 2 day room.



112\_MI\_1: South 2 day room.

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113\_MI\_1: South 2 shower room.



114\_MI\_1: South 2 shower room.



115\_MI\_1: South 2 shower room.



116\_MI\_1: Detail - paint scratched from shower room door frame.

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117\_MI\_1: South 2 Hall corridor detail - VCT floor, vinyl base, ceramic tile wainscot, wood handrail, painted wall (skim coat over CMU block wall), acoustic



118\_MI\_1: South 2 corridor detail - nurse call lights in ceiling.



119\_MI\_1: South 2 Hall semi-private room.



120\_MI\_1: South 2 semi-private resident room.

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121\_MI\_1: South 2 semi-private resident room.



122\_MI\_1: Paint peeling off resident room wall.



123\_MI\_1: Shared toilet & sink between resident rooms.



124\_MI\_1: South 2 semi-private resident room - shared toilet & sink; built in wardrobe closet.

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125\_MI\_1: South 2 private room (#10).



126\_MI\_1: Private toilet & sink in private room.



127\_MI\_1: Courtyard between west wings of South 1 and South 2 Halls.



128\_MI\_1: Courtyard between west wings of South 1 and South 2 Halls.

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129\_MI\_1: Window unit air conditioners - dining room, staff office.



130\_MI\_1: Courtyard between west wings of South 1 and South 2 Halls.



131\_MI\_1: Form boards - staff in widening sidewalk to boiler room.



132\_MI\_1: South 2 Hall boiler room. Patterson-Kelly boiler, 700,000 BTUH (1998).

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133\_MI\_1: Bradford White water heater, 199,999 BTUH, 100- gal.



134\_MI\_1: Expansion tank (heating hot water).



135\_MI\_1: Circulating pump.



136\_MI\_1: Fire sprinkler riser (facility is only partially sprinkled).

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137\_MI\_1: Center corridor looking north to East Hall (newest addition - 1980's).



138\_MI\_1: Service corridor - central wing.



139\_MI\_1: Beauty shop.

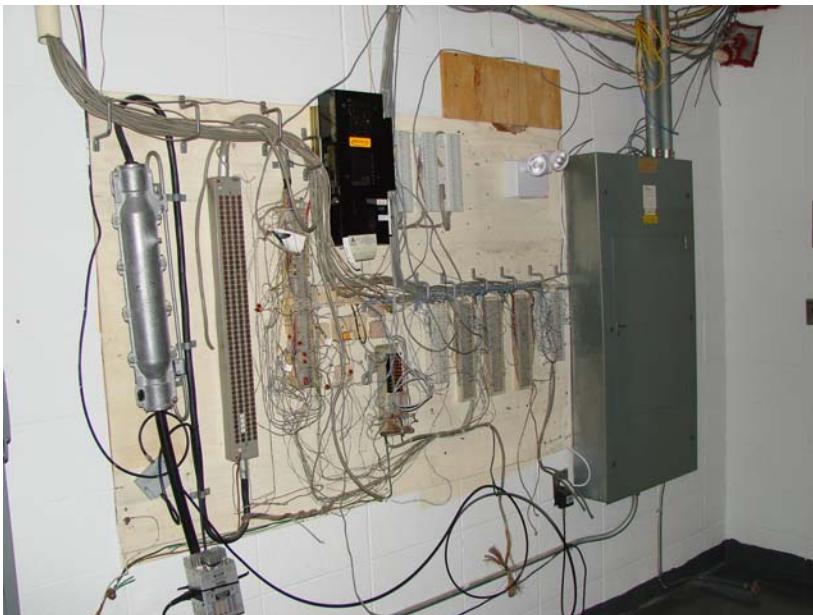


140\_MI\_1: Electrical room - 600 Amp main service, telephone patch panels.

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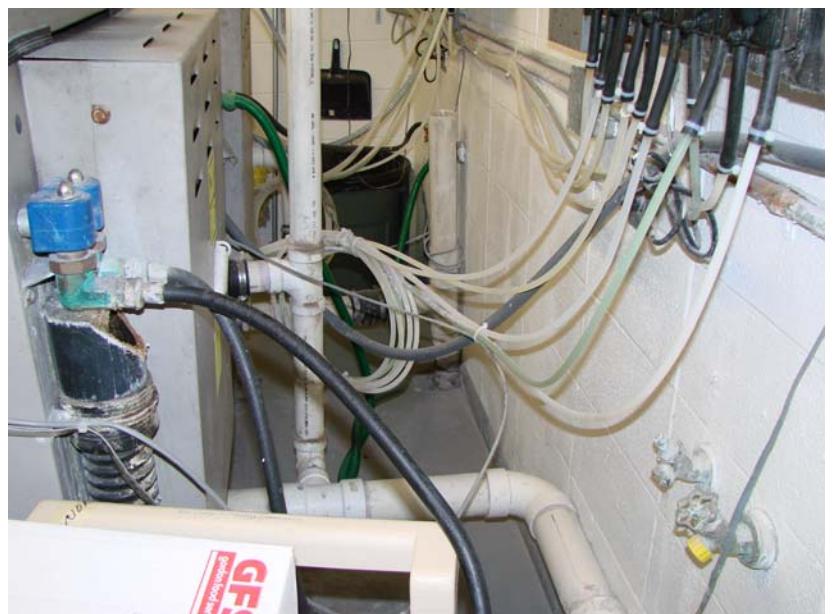
141\_MI\_1: Telephone patch panels.



142\_MI\_1: Laundry - soiled linen room.



143\_MI\_1: Laundry - 55# Milnor washers (6-yrs); 55# American dryer (15+ yrs).



144\_MI\_1: Laundry - washer drain connection.

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145\_MI\_1: Laundry - 55# American dryers (15+ yrs).



146\_MI\_1: Central corridor boiler room - Weil-McClain boilers, Lochinvar water heaters.



147\_MI\_1: Central wing boiler room - Weil-McClain boilers, 1,190,000 BTUH (20+ yrs).



148\_MI\_1: Lochinvar water heaters, 100-gal, 199,900 BTUH (10-yrs).

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149\_MI\_1: Fire sprinkler riser for north wings (east & west) - note facility is not fully sprinkled.



150\_MI\_1: Digital phone equipment in storage room.



151\_MI\_1: Telephone patch panel in storage room.



152\_MI\_1: Staff lounge-break room.

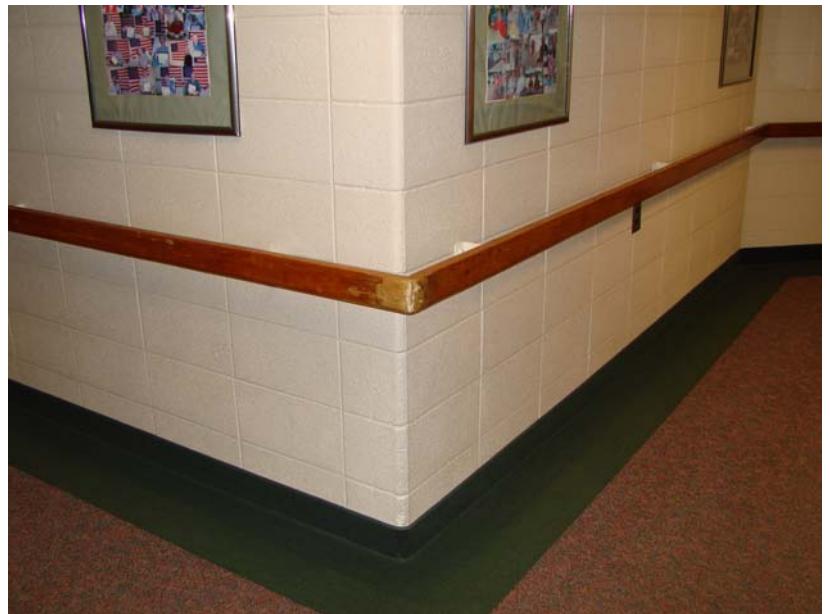
## The Willows @ Anytown

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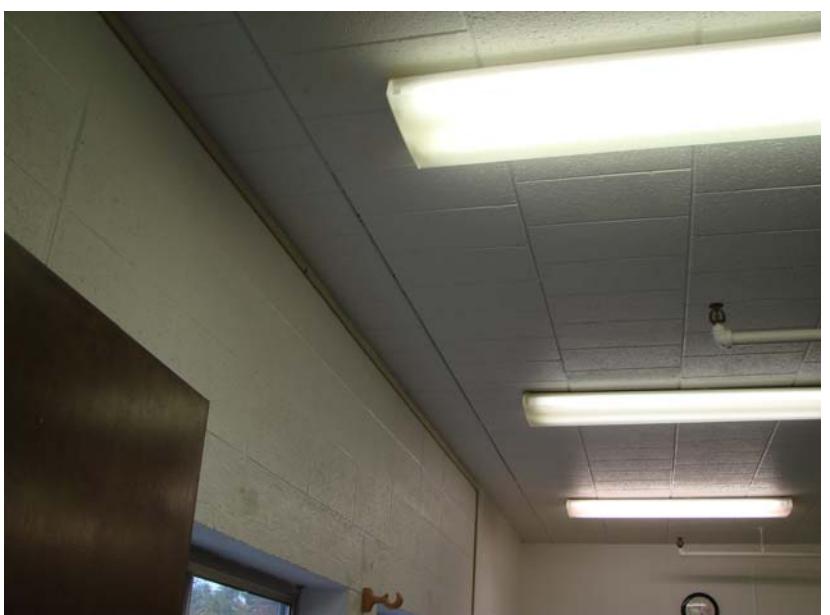
153\_MI\_1: Transition from Central Hall to East Hall.



154\_MI\_1: Handrail detail - handrails need refinishing-better corner protection.



155\_MI\_1: Activity room.



156\_MI\_1: Ceiling detail - painted, exposed pre-cast concrete ceiling planks with architectural -dock plank- finish.

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157\_MI\_1: Restorative dining - East Hall.



158\_MI\_1: West-East Hall nurse station.



159\_MI\_1: West-East Hall nurse station.



160\_MI\_1: Nurse station detail - counter top needs maintenance.

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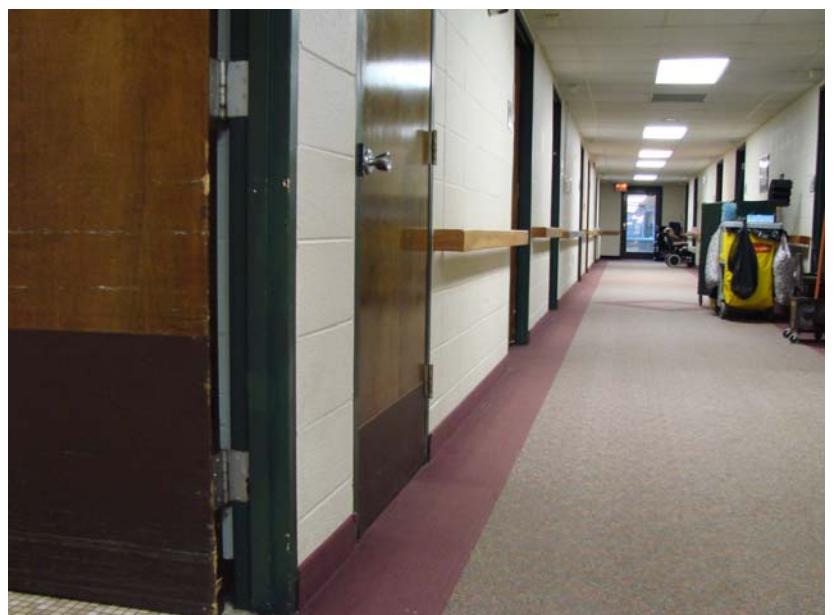
161\_MI\_1: Cornell nurse call annunciator panel at nurse station.



162\_MI\_1: Faraday fire alarm annunciator at nurse station.



163\_MI\_1: West Hall looking south from nurse station - carpet, carpet base, painted CMU block walls, wood handrail, acoustical grid ceiling.

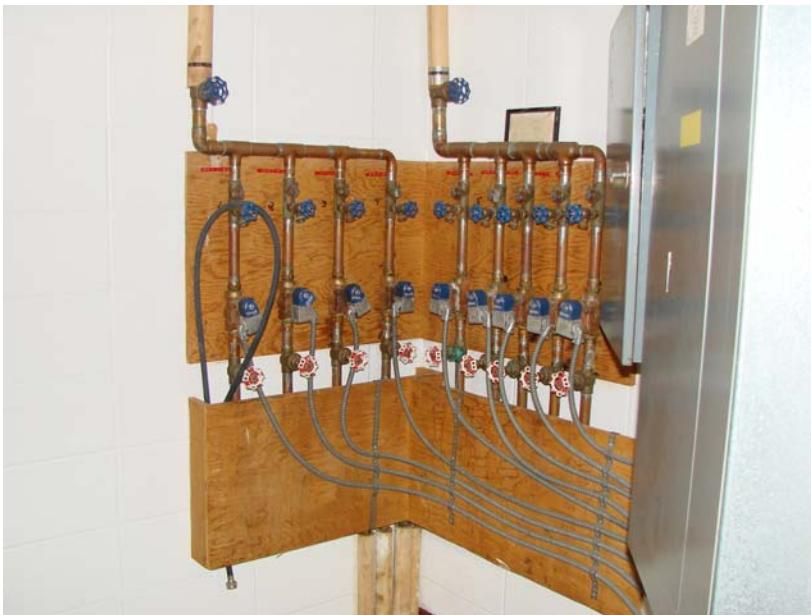


164\_MI\_1: Corridor detail - carpet, carpet base, painted CMU block walls, wood handrail, acoustical grid ceiling.

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165\_MI\_1: Boiler zone valves - hot water heating loop.



166\_MI\_1: Trane air handler in West Hall.



167\_MI\_1: West Hall tub-shower room.

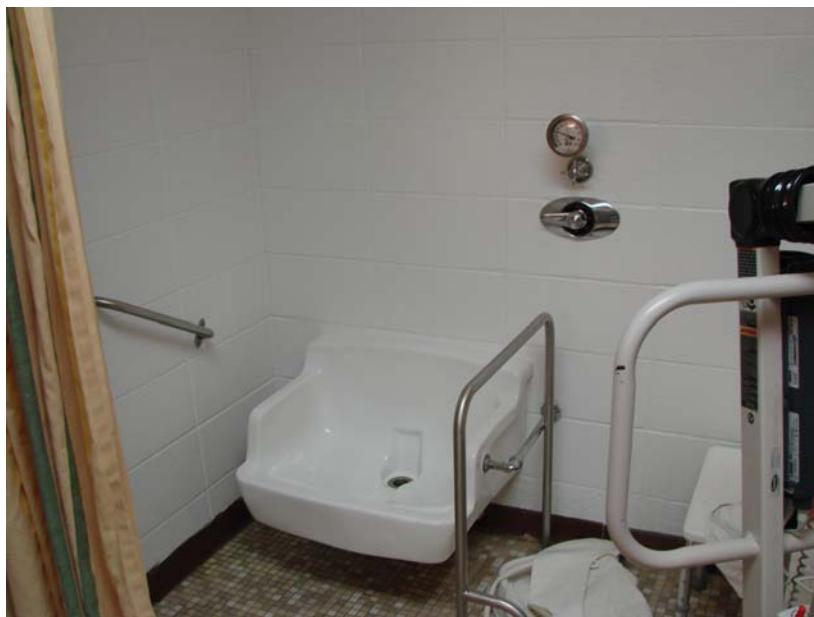


168\_MI\_1: West Hall tub-shower room.

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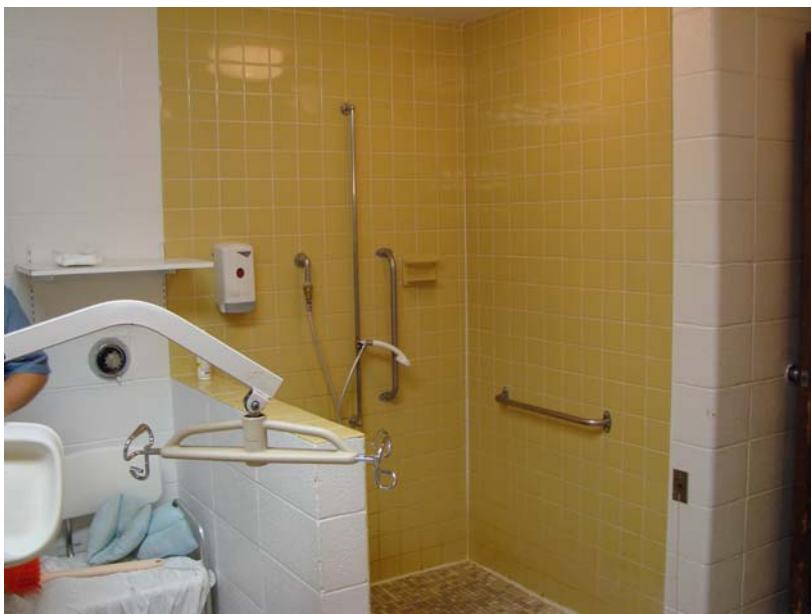
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169\_MI\_1: West Hall tub-shower room.



170\_MI\_1: West Hall tub-shower room.



171\_MI\_1: West Hall tub-shower room.



172\_MI\_1: Shower floor detail - average condition.

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173\_MI\_1: West Hall semi-private resident room.



174\_MI\_1: West Hall semi-private resident room - built-in wardrobes.



175\_MI\_1: West Hall semi-private resident room.



176\_MI\_1: Shared toilet & sink between resident rooms.

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177\_MI\_1: Shared toilet & sink between resident rooms.



178\_MI\_1: Make up air in resident room.



179\_MI\_1: Ceiling detail - exposed concrete plank ceiling in resident rooms, dropped acoustical grid ceiling in corridor.



180\_MI\_1: East Hall looking east.

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181\_MI\_1: East Wing semi-private room



182\_MI\_1: East Wing semi-private room



183\_MI\_1: East Wing semi-private room - built-in wardrobes.



184\_MI\_1: Shared toilet & sink between resident rooms.

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185\_MI\_1: Shared toilet & sink between resident rooms.



186\_MI\_1: East Hall day room.



187\_MI\_1: East Hall tub-shower room.



188\_MI\_1: East Hall tub-shower room.

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189\_MI\_1: East Hall tub-shower room.



190\_MI\_1: Shower floor detail - average condition.



191\_MI\_1: Control door to physical therapy-default facility entrance.



192\_MI\_1: Physical therapy office.

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193\_MI\_1: Physical therapy,



194\_MI\_1: Physical therapy,



195\_MI\_1: Physical therapy,



196\_MI\_1: Physical therapy,

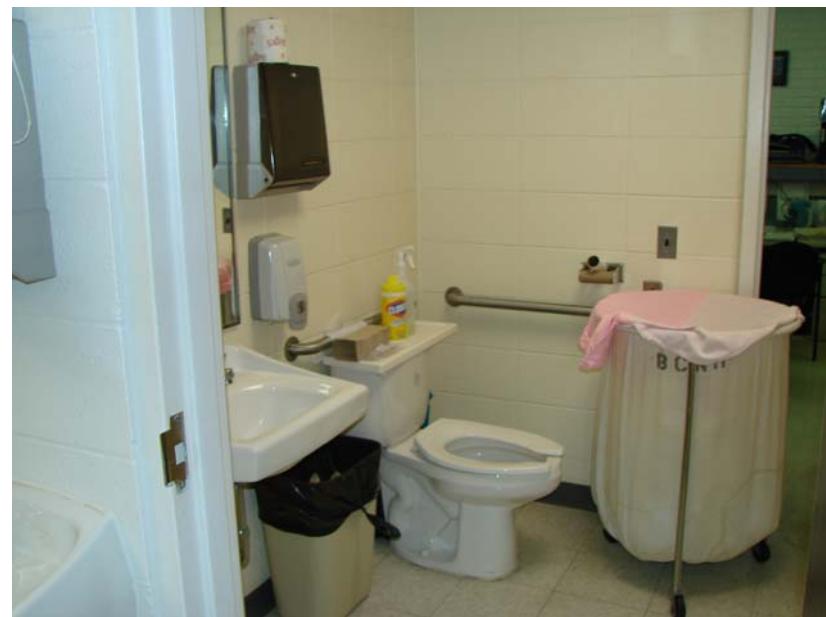
## The Willows @ Anytown

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197\_MI\_1: Training bathroom in physical therapy.



198\_MI\_1: Training bathroom in physical therapy.



199\_MI\_1: Physical therapy office.



200\_MI\_1: Water stains on ceiling tile in therapy office.

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201\_MI\_1: Central Hall roof looking at porte-cochere.



202\_MI\_1: Central Hall roof looking to South 1 Hall.



203\_MI\_1: Central Hall roof top air conditioner.



204\_MI\_1: Roof drain dislodged from its correct position.

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205\_MI\_1: Parapet wall at Central Hall porte-cochere.



206\_MI\_1: Connection between South 1 and Center Hall building additions.



207\_MI\_1: South Hall 1 roof.



208\_MI\_1: Air conditioners on South 1 Hall roof.

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209\_MI\_1: Water ponding on South Hall 1 roof - drainage obstructed by HVAC ducts.



210\_MI\_1: South Hall 1 roof - note EPDM rubber roof membrane is applied over corridor HVAC ducts.



211\_MI\_1: South 1 Hall roof looking west.



212\_MI\_1: Detail - HVAC ducts prevent proper roof drainage.

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213\_MI\_1: Detail - HVAC ducts preventing proper drainage to roof drain.



214\_MI\_1: Water ponding detail - approx 3-4- deep.



215\_MI\_1: Tree growing between South 1 and South 2 Halls needs to be trimmed away from air conditioners.

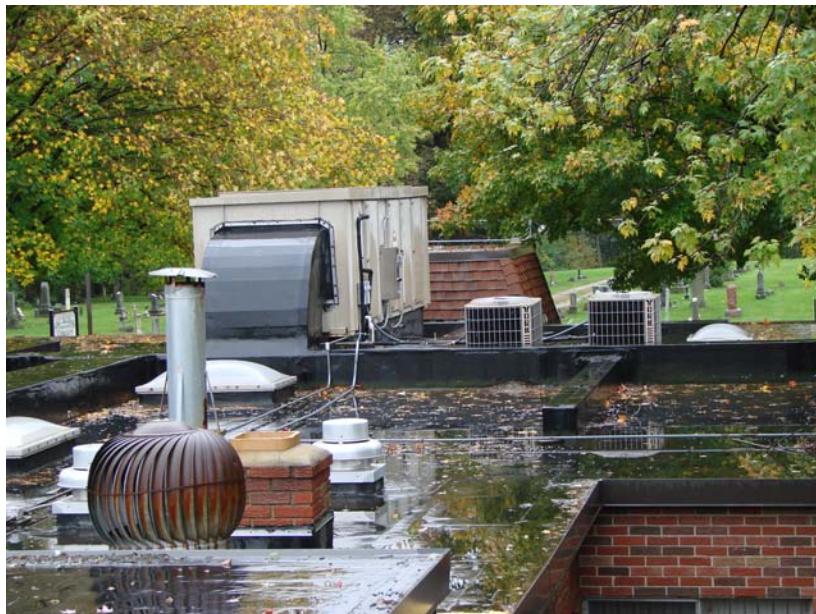


216\_MI\_1: Vegetation growing in roof ballast.

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217\_MI\_1: Air conditioner on South 2 Hall roof.



218\_MI\_1: Transition between South 2 and South 1 Hall additions.



219\_MI\_1: South Hall 1 detail - HVAC duct arched over conduit pipe.



220\_MI\_1: South 2 Hall roof looking east.

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221\_MI\_1: South Halls roof detail - 60-mil EPDM rubber roof, installed 1990.



222\_MI\_1: Courtyard between South 1 and South 2 Halls.



223\_MI\_1: West Hall looking north.



224\_MI\_1: Area drain at south end of West Hall.

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225\_MI\_1: West Hall roof looking north.



226\_MI\_1: West hall roof looking west to parking lot.



227\_MI\_1: East Hall roof.



228\_MI\_1: East Hall roof.

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229\_MI\_1: Trane air conditioner on West Hall roof.



230\_MI\_1: Vegetation growing in roof ballast.



231\_MI\_1: Parking lot entrance from Hall Street.



232\_MI\_1: Service drive around East Hall to west parking lot.

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233\_MI\_1: Gazebo between Central Hall and East Hall.



234\_MI\_1: Courtyard between East Hall and Central Hall.



235\_MI\_1: Privacy fence around main gas service.