

PROPERTY CONDITION REPORT OUTLINE

May 2, 2007

Subject Property:

The Palms

351 & 331 East Palm Drive ♦ Anytown, USA 01995

987-654-3210 ♦ fax 987-654-3211



Prepared for:
No. 1 LTC Operator, Anytown, USA

FACILITY SUMMARY

The Palms is a two-building assisted living facility in Anytown, Anystate. Palm East is a 2-story building built in 1982. Palm West, also 2-stories, was built in 1984. The facility is 100% assisted living and does not have any Alzheimer's, dementia, or memory care services. Each building is self contained and self sufficient, creating redundant services and additional staffing burden, especially in the dietary, laundry, and housekeeping departments. The buildings are generally well maintained, clean, and attractive. The HVAC systems, water heaters, kitchen, and laundry equipment are of varied ages from original to 6-months new. The equipment was all working properly at the time of the survey and will need continual routine maintenance and eventual replacement at as each piece reaches the end of its design life. The interiors are dated, as is the furniture, and have not been significantly updated since each building's original construction in 1982 and 1984. The Palm East furniture was reported to be used when the building was first opened. Additionally, the wood fascia and trim throughout the outside is rotten and needs to be urgently replaced. The building exterior is also in need of pressure washing and a new coat of paint. Additional exterior and interior deficiencies were also observed and are identified in the accompanying photographs and budget analysis, which are incorporated as an integral part of this report. Overall the facility has been moderately maintained and is in need of maintenance expenditures to correct deficiencies now before further deterioration and water penetration occurs.

PROJECT CONDITION SURVEY

Facility Overview

Location: 351 E Palm Drive – Anytown, USA
Year Built: Palm East – 1982; Palm West - 1984
Building size: unknown – check local appraisal district
Site Size: unknown – check local appraisal district
Bed Capacity: Palm East – 36/36 = 72 apts; Palm West – 18/19 = 37 apts.
Licensed beds/Operating capacity
Basic Construction type: 2-story wood frame w/ Spanish tile gable roof

Property

Physical condition of property: Clean, well maintained (admin wants more landscaping, may not be necessary.)
Slope: Generally flat with surface drainage and area drains.
Drainage: Adequate, some isolated ponding reported by maintenance staff
Signage: See photos. Attractive monument sign with landscaping and sign lighting. Note sign lighting is broken.
Landscaping: Clean, well maintained w/ irrigation sprinklers. Administrator would like additional landscaping. Initial impression is that landscaping is a low priority item to interior and other exterior items.
Irrigation: Working properly at time of survey.
Parking: Adequate for daily needs, inadequate for special events.
Municipal Services: Water, sewer, & drainage provided by local municipality

UST's/Environmental: None reported.
Dumpsters: One trash dumpster located behind Palm East kitchen in an enclosed dumpster area.
Paving & Striping: Asphalt paving, generally good condition with isolated areas of deterioration. Striping is in generally adequate condition. Paving will need some attention in near future.
Lighting: Commercial parking lot lighting; appeared adequate during the survey with no reported concerns or deficiencies.

THE FACILITY

Exterior

Appearance: Appears neat, clean, and well maintained (closer inspection reveals deferred maintenance)
Construction materials: Painted stucco/EFIS application with wood trim accent.
Condition: All wood trim is rotten and needs to be replaced.
Roof: Gable roof with Spanish tile.
Lighting: see comments above – lighting is adequate.

Interior

Lobby: Clean, well-maintained – older finishes and furnishings need to be replaced throughout
Dining: Clean, well maintained – older finishes and furnishings need to be replaced.
Activities: Clean, well maintained – older finishes and furnishings need to be replaced.
Common Areas: Clean, well maintained – older finishes and furnishings need to be replaced.
Corridors: Clean, well maintained – older finishes need to be replaced. Facility staff has started re-painting upstairs corridors of Palm East. Colors should be re-considered and painted over with installation of new carpet & art.
Nurse Stations: N/A
Resident rooms: Empty apartment undergoing “make ready” between tenants is simple, clean, and attractive (see pictures).
Physical Therapy: None
Bathing: No community tub/shower rooms.

Kitchen & Laundry

Kitchen Equipment: Generally good condition and operating properly. Equipment is adequate for facility's needs.
Condition / Age: Older/original equipment. Budget for replacing stove and other equipment in future years. New convection ovens – 6-months. Local Government is revising regulations on grease traps & garbage disposals, which will have an impact on the facility.

Laundry Equipment: All residential washers & dryers, relatively new but replaced frequently due to constant use. Consider evaluation of installing commercial equipment. Palm East has 2 washers/dryers. Palm West has 1 washer/dryer. Consider adding an additional washer & dryer to each building if commercial equipment is not added.

Condition / Age: Generally good condition, replaced in 2007, replace again in late 2008/2009

Service history: N/A

Electrical, Fire Protection, & Mechanical

Power Supply: Palm East – 2000 Amp main panel; Palm West – 1000 Amp main panel

Emergency Generator: None

Fire alarm type – Silent Knight/Fire Lite

Monitored? – yes, by Triexutic

Sprinklers – yes, fully sprinkled

Booster pump – no

Emergency/Nurse call system: Rauland (1982); working properly, NOTE: Palm East and Palm West are not tied together. Each building is independent of the other for all services.

CATV: Cable television is provided to each apartment by the facility as part of monthly fees.

Phone: Phone service is provided in resident apartments by resident contacting directly with the local phone provider.

HVAC resident/common areas

Corridors / Common Areas: central air conditioning & heat (gas); generally older units, all operating properly, budget for increased maintenance and replacement as they continue to age.

Kitchen: swamp cooler (new)

Apartments: thru wall PTAC (package terminal air conditioner); older/original units gradually being replaced.

Water heating: Gas water heaters – Palm East – three heaters; Palm West – two heaters; various ages, all working properly. Will need routine replacement as equipment ages through normal useful life.

Water treatment system – yes.

Elevator – yes, one hydraulic elevator in each building. Elevators are original, were operating properly, and have a normal maintenance history.

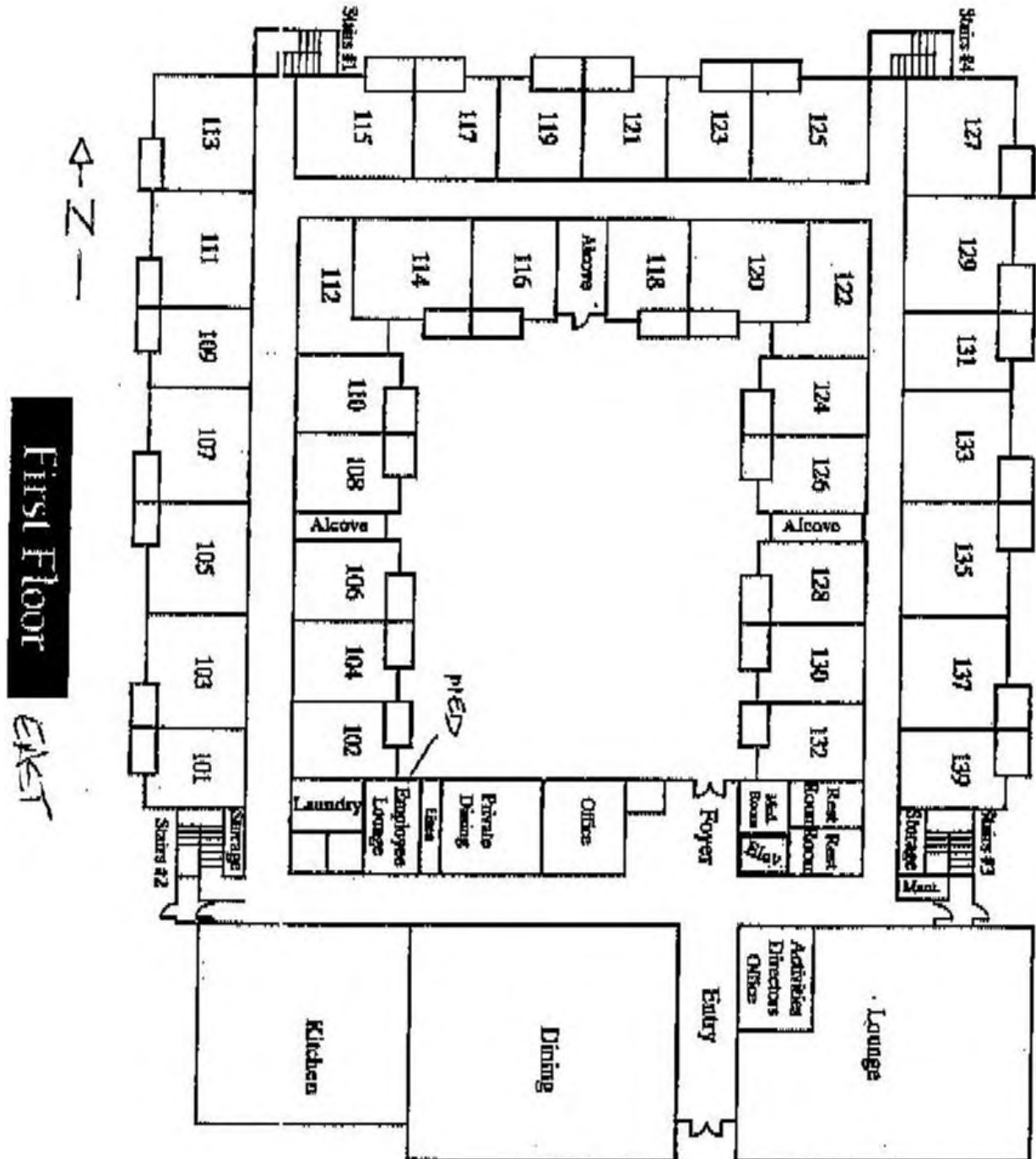
GENERAL CONCLUSIONS & RECOMMENDATIONS

See preceding summary & following Budget & Recommendations.

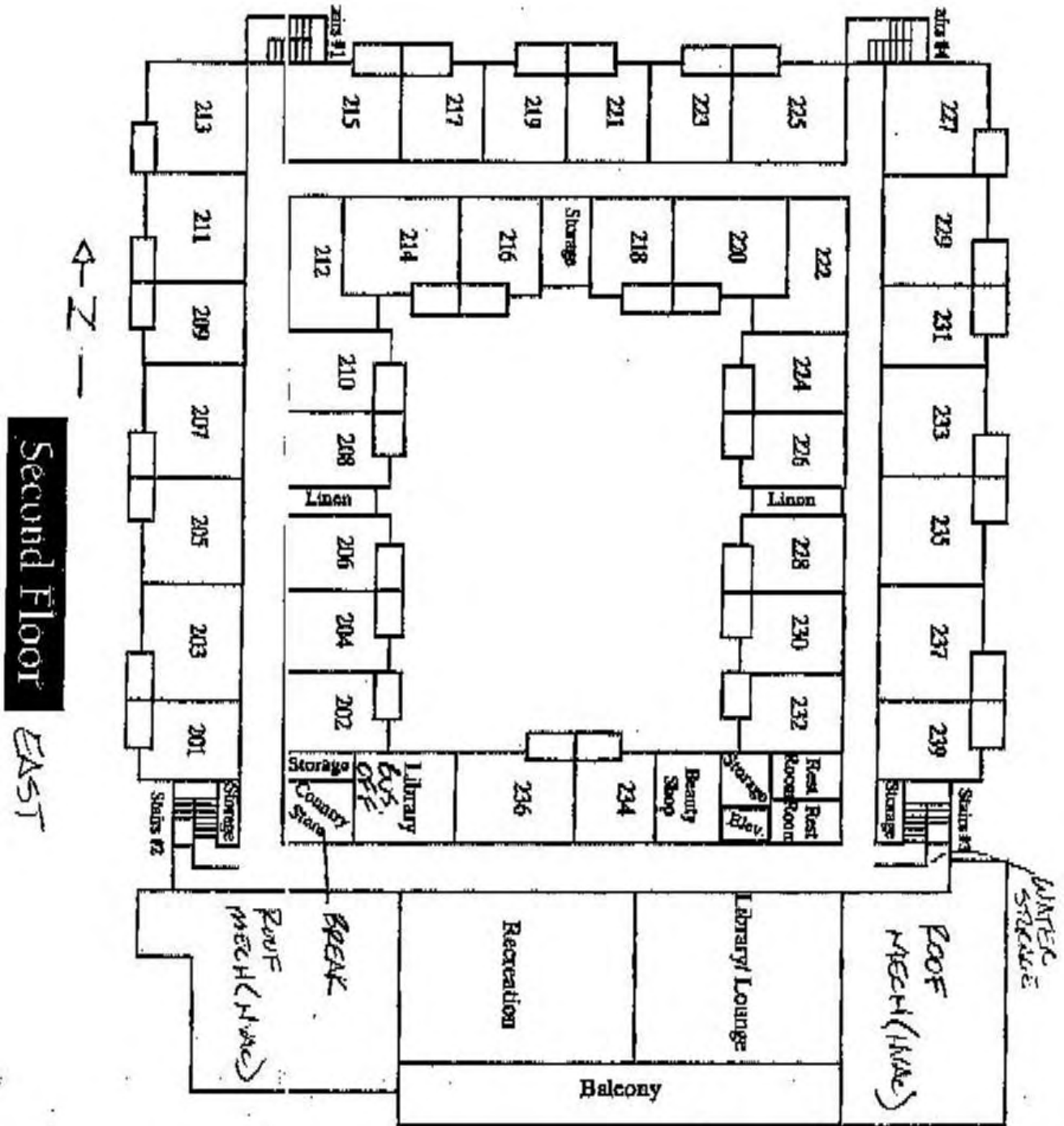
This report is not intended to identify mold, lead-based paint and/or ACMs (asbestos containing materials), nor to make any recommendations concerning these materials other than to consult Phase I Environmental Surveys or to commission a qualified engineering firm to perform a Phase I Environmental Survey, Mold, ACM, or Lead-based paint survey.

This report is complete, true and accurate to the best of our knowledge based on observations made during a visit to the facility on 2 May 2007 for the purpose of surveying the property for visual signs of current or potential problems that may be of concern in the foreseeable future and to observe the general condition of the property, site, and possible life safety issues; and to make reasonable recommendations for the correction of the same. All dates referenced in this report were obtained from manufacturer data plates, facility documents, or conversations with facility staff, and are believed to be accurate and reliable. This report is not intended to be an engineering report for structural, mechanical, or electrical systems nor does it include environmental engineering or testing.

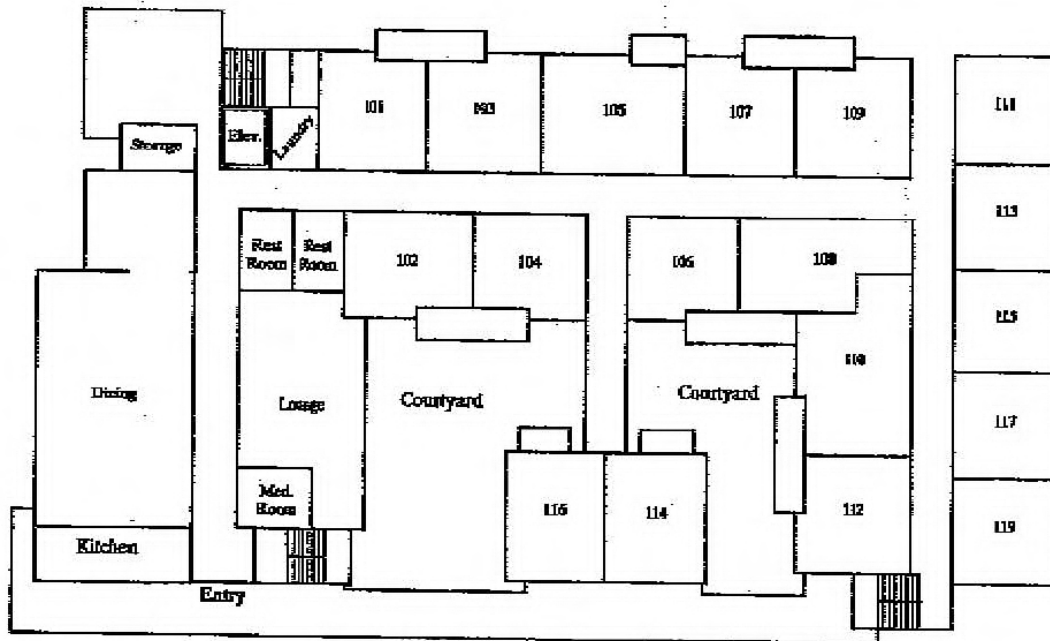
Palm East – 1st Floor



Palm East – 2nd Floor



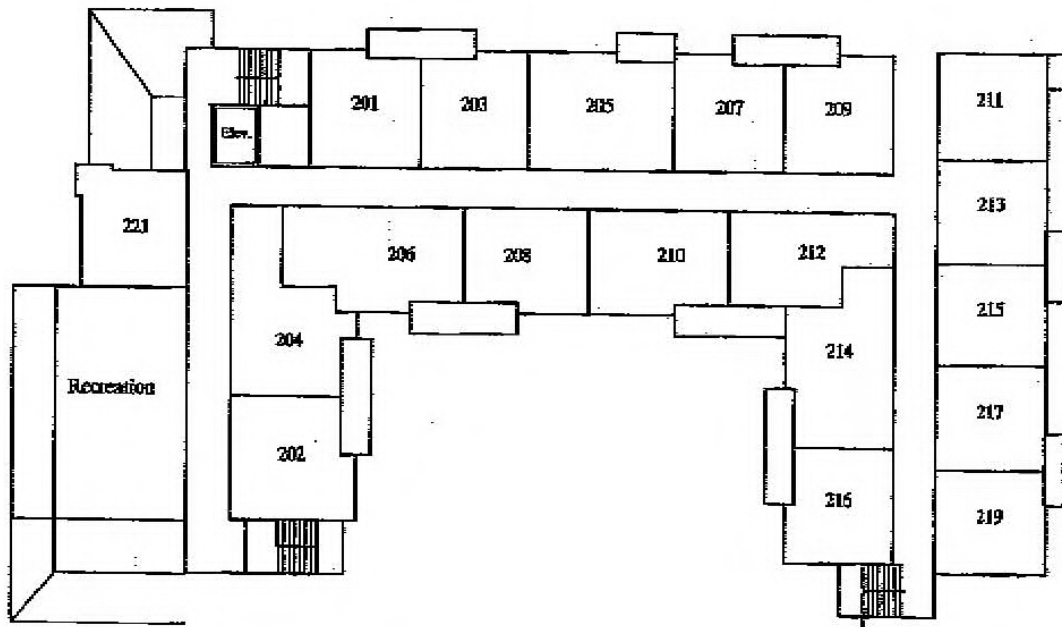
Palm West



— Z —>

Annex First Floor

WEST



— Z —>

Annex Second Floor

WEST

H E A L T H L I N K D E V E L O P M E N T , L L C

630 B PARK GROVE ♦ KATY, TX 77450 ♦ 281-578-3712 ♦ FAX 281-578-1582

Recommendations & Budget

The Palms – Palm East

1. Investigate emergency water supply age and rotation cycle.

Exterior:

2. Update identification sign to reflect change in ownership.
3. Repair broken lighting at identification sign, enhance landscaping around sign.
4. Minor asphalt maintenance, reseal & restripe.
5. Replace & repaint all exterior wood trim & fascia.
6. Pressure wash buildings, minor exterior wall repairs where paint has “bubbled” and peeled.
7. Consider in investigating adding an emergency generator.
8. Emergency reserve for replacing/repairing older central HVAC equipment.

Interior:

9. Replace dining room chairs
10. Replace living room furniture.
11. Special attention to 2nd floor living rooms – finishes & furnishings.
12. Replace common area finishes throughout – paint, wall covering, carpet.
13. Repaint acoustic ceiling grid & tile in corridors.
14. Consider adding handrails in corridors.
15. Replace Rauland emergency call system – age.
16. Replace kitchen equipment/appliances in future years – age.
 - a. Stoves
 - b. Ovens
 - c. Steam tables
 - d. Other
 - e. Modifications relating to local government restrictions on grease traps & garbage disposals.
17. Replace residential washers & dryers in future years (2 sets)
 - a. Add one additional set of washer/dryer to each building.
 - b. Look in to retro-fit for commercial washer & dryer 35#/50#.
18. Replace water heaters (3) in upcoming years.
19. Repair water damage to wall in water heater closet.
20. Miscellaneous repairs.
 - a. Ceiling repair in dry storage (fire sprinkler pipe leak)
 - b. Courtyard doors need repainting
 - c. Replace elevator equipment room doors in future years.
 - d. Water damage outside private dining room (possibly from sprinklers?)
 - e. Laundry dryer vents - consider adding a wire cage lint trap
 - f. Consider adding drain scuppers at balconies to extend runoff beyond balcony wall
21. Modify beauty shop to enlarge space & replace older equipment.
22. Misc. PTAC replacement as needed.
23. General maintenance/miscellaneous repair allowance.

Recommendations & Budget

The Palms – Palm West

1. Investigate emergency water supply age and rotation cycle.

Exterior:

2. Deferred/age related maintenance to porch outside 2nd floor activity room.
3. Repair rotten wood trim on building exterior.
4. Pressure wash buildings, minor exterior wall repairs where paint has “bubbled” and peeled.
5. Consider in investigating adding an emergency generator.

Interior:

6. Replace common area finishes throughout – paint, wall covering, carpet.
7. Repaint acoustic ceiling grid & tile in corridors.
8. Replace dining room chairs
9. Consider adding handrails in corridors.
10. Replace living room furniture.
11. Replace living room wall coverings.
12. Replace 2nd floor living room/activity room furniture.
13. Replace dining room floor vinyl (All common area finishes and furnishings need to be upgraded.)
14. Replace Mirtone emergency call system – age.
15. Replace steam table in kitchen.
16. Replace kitchen equipment/appliances in future years – age.
 - a. Stoves
 - b. Ovens
 - c. Steam tables
 - d. Other
 - e. Modifications relating to local government restrictions on grease traps & garbage disposals.
17. Replace residential washers & dryers in future years (1 set)
 - a. Add one additional set of washer/dryer to each building.
 - b. Look in to retro-fit for commercial washer & dryer 35#/50#.
18. Replace 2nd water heater in future years.
19. Replace 1997 water heater.
20. Emergency reserve for replacing/repairing older central HVAC equipment.
21. Misc. PTAC replacement as needed.
22. General maintenance/miscellaneous repair allowance.

The Palms

Anytown, USA

May 2007

Recommended Repair	Option	Immediate	2-5 Years	6-10 Years
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Year Built - 1982 & 1985

Palm East

72 units

- Investigate emergency water supply age and rotation cycle.

TBD

Exterior:

- Update identification sign to reflect change in ownership. \$ 5,000
- Repair broken lighting at identification sign, enhance landscaping around sign. \$ 500
- Minor asphalt maintenance, reseal & restripe. \$ 20,000
- Replace & repaint all exterior wood trim & fascia. (ALLOWANCE) \$ 25,000
- Pressure wash buildings, minor exterior wall repairs where paint has "bubbled" and peeled. \$ 50,000
- Consider investigating adding an emergency generator. \$ 60,000
- Emergency reserve for replacing/repairing older central HVAC equipment. (\$12K budget/yr) \$ 12,000 \$ 48,000 \$ 30,000

Interior:

- Replace dining room chairs \$ 18,000
- Replace living room furniture. \$ 45,000
- Special attention to 2nd floor living rooms – finishes & furnishings. \$ 70,000
- Replace common area finishes throughout – paint, wall covering, carpet.
 - Paint/Wall Covering \$ 36,000
 - Corridor carpet \$ 41,400
- Repaint acoustic ceiling grid & tile in corridors. \$ 28,800
- Consider adding handrails in corridors. (ALLOWANCE) \$ 40,000
- Replace Rauland emergency call system – age. (pull cord vs. pendant) \$ 40,000
- Replace kitchen equipment/appliances in future years – age.
 - Stoves \$ 9,000
 - Ovens N/A - new in 2007
 - Steam tables TBD
 - Other TBD
 - Modifications relating to local government restrictions on grease traps & garbage disposals. TBD

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17 Replace residential washers & dryers in future years (2 sets)				
a. Add one additional set of washer/dryer to each building.		\$	3,000	
b. Look in to retro-fit for commercial washer & dryer 35#/50#.	\$	1,500		
18 Replace water heaters (3) in upcoming years.		\$	16,000	\$ 8,500.000
19 Repair water damage to wall in water heater closet.	\$	1,000		
20 Miscellaneous repairs.				
a. Ceiling repair in dry storage (fire sprinkler pipe leak)	by staff			
b. Courtyard doors need repainting	by staff			
c. Replace elevator equipment room doors in future years.		\$	750	
d. Water damage outside private dining room (possibly from sprinklers?)	by staff			
e. Laundry dryer vents - consider adding a wire cage lint trap	by staff			
f. Consider adding drain scuppers at balconies to extend runoff beyond balcony wall	\$	3,500		
21 Modify beauty shop to enlarge space & replace older equipment.	\$	7,500		
22 Misc PTAC replacement as needed. (\$8K budget/yr)	\$	4,000	\$ 32,000	\$ 40,000
22 General Maintenance/Miscellaneous repair allowance.	\$	10,000		

Palm West

37 units

- | | | |
|---|--|-----|
| 1 | Investigate emergency water supply age and rotation cycle. | TBD |
|---|--|-----|

Exterior:

- | | | |
|---|--|-----------|
| 2 | Deferred/age related maintenance to porch outside 2 nd floor activity room. | TBD |
| 3 | Repair rotten wood trim on building exterior. | \$ 18,000 |
| 4 | Pressure wash buildings, minor exterior wall repairs where paint has "bubbled" and peeled. | \$ 40,000 |
| 5 | Consider investigating adding an emergency generator. | \$ 40,000 |

Interior:

- | | | |
|----|---|-----------|
| 6 | Replace common area finishes throughout – paint, wall covering, carpet. | |
| a. | Paint/Wall Covering | \$ 18,500 |
| b. | Corridor carpet | \$ 21,275 |
| 7 | Repaint acoustic ceiling grid & tile in corridors. | \$ 14,800 |
| 8 | Replace dining room chairs | \$ 12,333 |
| 9 | Consider adding handrails in corridors. | \$ 30,000 |
| 10 | Replace living room furniture. | \$ 15,000 |

11	Replace living room wall coverings.	\$	4,500		
12	Replace 2 nd floor living room/activity room furniture.	\$	20,000		
13	Replace dining room floor vinyl (All common area finishes and furnishings need to be upgraded.)	\$	3,500		
14	Replace Mirtone emergency call system – age.	\$	30,000		
15	Replace steam table in kitchen.	\$	3,000		
16	Replace kitchen equipment/appliances in future years – age.				
	a. Stoves			\$	7,500
	b. Ovens				TBD
	c. Other				TBD
	d. Modifications relating to local government restrictions on grease traps & garbage disposals.			TBD	
17	Replace residential washers & dryers in future years (1 set)			\$	1,500
	a. Add one additional set of washer/dryer to each building.	\$	1,500		
	b. Look in to retro-fit for commercial washer & dryer 35#/50#.	\$	13,500		
18	Replace 2 nd water heater in future years.				\$ 8,500
19	Replace 1997 water heater.	\$	7,500		
20	Emergency reserve for replacing/repairing older central HVAC equipment. (\$12K budget/yr)			\$	48,000
					\$ 60,000
21	Misc PTAC replacement as needed. (\$8K budget/yr)	\$	4,000	\$	32,000
					\$ 40,000
22	General Maintenance/Miscellaneous repair allowance.	\$	10,000		

Recommendations Total	\$	\$	\$	\$
	226,000	560,608	237,750	187,000

Contingency (10%)	\$	\$	\$	\$
	22,600	56,061	23,775	18,700

Construction Management & Expenses (15%/5%)	49,720	123,334	52,305	41,140
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Estimated Total	\$	\$	\$	\$
	298,320	740,003	313,830	246,840

Combined Total \$1,598,993

Special Note: This budget analysis assumes that all vacant apartments have been cleaned and made ready for immediate occupancy without any additional carpet replacement or painting.

NOTE: These recommendations and subsequent budget do not constitute a bid from HealthLink, but are rather presented and intended to reflect reasonable allowances for the listed recommendations based on past experience and current industry trends. This budget is conceptual in nature and should be refined by compiling dimensions, refining the scope of work, and meeting with qualified local contractors.

The Palms – Palm East

Photographs taken 05-02-2007

<u>Picture File #</u>	<u>Description</u>
001 P_E	Satellite image.
002 P_E	Facility identification sign. Note broken sign lighting.
003 P_E	Facility identification sign. Note broken sign lighting.
004 P_E	Broken light detail.
005 P_E	Palm East front (south) elevation.
006 P_E	Main entrance to Palm East.
007 P_E	Front patio outside living room.
008 P_E	Front patio outside living room.
009 P_E	East parking area and facility van.
010 P_E	Front (south) elevation.
011 P_E	Front parking area looking west to Palm West.
012 P_E	Fire sprinkler stand pipe.
013 P_E	West elevation of Palm East (looking north).
014 P_E	Palm East service entrance - water heater room & kitchen delivery area.
015 P_E	Parking entrance and parking in front of Palm East.
016 P_E	Asphalt paving detail - minor surface damage.
017 P_E	Asphalt paving detail at Palm West - prior asphalt patch.
018 P_E	Trash dumpster at service area.
019 P_E	Irrigation sprinkler supply and gas meter.
020 P_E	Water heaters - two for residential/domestic use; one for kitchen.
021 P_E	Bradford White water heater (#3), 80-gal, 180,000 BTUH.
022 P_E	Bradford White water heater (#3), 80-gal, 180,000 BTUH.
023 P_E	A.O. Smith water heater (#2) - 100-gal, 250,000 BTUH.
024 P_E	A.O. Smith water heater (#2) - 100-gal, 250,000 BTUH.
025 P_E	Bradford White water heater (#1) 100-gal, 270,000 BTUH.
026 P_E	Bradford White water heater (#1) 100-gal, 270,000 BTUH.
027 P_E	Water heaters #1 & 2.
028 P_E	Culligan water treatment system.
029 P_E	Fire sprinkler riser.
030 P_E	Water damage in water heater closet.
031 P_E	Water damage in water heater closet.
032 P_E	Water damage in water heater closet.
033 P_E	Palm East - west elevation. note rotten wood trim on 2nd floor balconies.
034 P_E	Detail - rotten wood trim on 2nd floor balconies.
035 P_E	Landscape area on exterior of Palm East west elevation.
036 P_E	Palm East east elevation looking north. Storage building and main electrical closet at stair well #3.
037 P_E	2000 Amp main electric panel (Palm East).
038 P_E	Detail - rotten beam.
039 P_E	Detail - rotten beam.
040 P_E	Palm East east elevation looking north.
041 P_E	East elevation looking south.
042 P_E	Detail - rotten trim on 2nd floor balcony.
043 P_E	Detail - rotten trim on 2nd floor balcony.
044 P_E	Detail - rotten trim on 2nd floor balcony.

Palm East Continued:

<u>Picture File #</u>	<u>Description</u>
045 P_E	Wall patch on east elevation at PTAC unit.
046 P_E	Wall patch on east elevation at balcony.
047 P_E	North property line looking west.
048 P_E	Open CATV junction box.
049 P_E	Open CATV junction box.
050 P_E	North property line looking east.
051 P_E	Exit gate to parking lot between Palm East & Palm West.
052 P_E	Main entrance to Palm East.
053 P_E	Front entry.
054 P_E	Front entry with reception desk and door into courtyard.
055 P_E	Reception desk at Palm East entrance.
056 P_E	Rauland emergency/nurse call annunciator panel at front entry reception desk.
057 P_E	Living room.
058 P_E	Living room.
059 P_E	Living room.
060 P_E	Living room.
061 P_E	Living room.
062 P_E	Living room.
063 P_E	Living room.
064 P_E	Living room.
065 P_E	Living room.
066 P_E	Main dining room.
067 P_E	Main dining room.
068 P_E	Main dining room - screen wall with kitchen access.
069 P_E	Staples and old decoration streamers in Dining room.
070 P_E	Main dining room - screen wall/kitchen access.
071 P_E	Kitchen - walk-in freezer/cooler.
072 P_E	Kitchen - Wolf 6-burner stove with double oven & griddle; Vulcan convection ovens (2).
073 P_E	Kitchen - Wolf 6-burner stove with double oven & griddle; Vulcan convection ovens (2).
074 P_E	Kitchen - rinse area.
075 P_E	Kitchen - dishwashing area.
076 P_E	1st floor West Hall storage closet.
077 P_E	Kitchen - ceiling repair in dry storage (fire sprinkler pipe leak).
078 P_E	1st floor private dining.
079 P_E	1st floor private dining.
080 P_E	1st floor private dining - view into interior courtyard.
081 P_E	Ned-room across from Kitchen.
082 P_E	1st Floor West Hall electrical room with telephone patch panel.
083 P_E	Laundry room - residential washers & dryers.
084 P_E	West Hall alcove leading to interior courtyard.
085 P_E	New emergency light. Note paint mark from original light outline.
086 P_E	Rauland emergency/nurse call annunciator panel at north end of 1st Floor West Hall.
087 P_E	Detail - wallpaper border peeling at wall corner. (Note - staff has not yet begun 1st floor painting improvements.
088 P_E	Darks spots on ceiling tile - consider repainting grid and replacing/painting ceiling tile.
089 P_E	Typical 1st floor corridor - carpet, wood base, painted walls, wallpaper border at handrail height.
090 P_E	Transition from front (south) corridor to East Hall. Note carpet change.
091 P_E	Telephone patch panel in electric closet (Palm East).

Palm East Continued:

<u>Picture File #</u>	<u>Description</u>
092 P_E	Elevator interior detail.
093 P_E	Palm East - typical 2nd floor corridor. Wood base, painted walls, no handrails, wallpaper border transition. Paint and border are currently being improved by facility staff. Photo shows finished look. NOTE: Carpet should be replaced.
094 P_E	2nd floor storage closet at #3 Stairs - emergency water supply. (note - maint. supv. did not know age of water canisters or rotation schedule.)
095 P_E	Palm East - 2nd floor public restroom.
096 P_E	Palm East - 2nd floor public restroom.
097 P_E	Palm East - 2nd floor public restroom.
098 P_E	Beauty Shop.
099 P_E	Beauty shop.
100 P_E	Beauty shop storage - consider removing wall to enlarge beauty shop.
101 P_E	Staff break room - 2nd floor.
102 P_E	2nd floor TV/Activity room.
103 P_E	2nd floor TV/Activity room.
104 P_E	2nd floor TV/Activity room.
105 P_E	2nd floor TV/Activity room.
106 P_E	2nd floor TV/Activity room.
107 P_E	2nd floor porch outside TV/Activities rooms.
108 P_E	Porch detail - spider webs near ceiling; building exterior needs to be pressure washed.
109 P_E	2nd floor game/recreation room.
110 P_E	2nd floor game/recreation room.
111 P_E	2nd floor game/recreation room.
112 P_E	2nd floor game/recreation room.
113 P_E	2nd floor game/recreation room.
114 P_E	Palm East - typical 2nd floor corridor. Wood base, painted walls, no handrails, wallpaper border transition. Paint and border are currently being improved by facility staff. Photo shows finished look. NOTE: Carpet should be replaced. Also note roof access door.
115 P_E	Rauland emergency/nurse call annunciator panel - 2nd floor (South end of West Hall).
116 P_E	2nd Floor West Hall electrical closet; telephone patch panel.
117 P_E	Public Address speaker, fire alarm, house phone - 2nd floor West Hall.
118 P_E	Public Address speaker, battery back-up emergency lighting (no emergency generator).
119 P_E	2nd floor West Hall looking south.
120 P_E	2nd floor north hall storage closet.
121 P_E	Ships' ladder in storage closet to roof well.
122 P_E	HVAC (AC & gas heat) unit in roof well above storage closet.
123 P_E	Acoustic lay-in ceiling tile - consider repainting ceiling grid. Replace or paint tile.
124 P_E	2nd floor east hall @ north end. Note missing wallpaper border - staff i sin the process of installing border after painting corridor walls.
125 P_E	2nd floor East Hall storage closet.
126 P_E	Typical room signage.
127 P_E	Typical resident unit. Remodel in process between residents. Note use of accent wall; new PTAC unit.
128 P_E	Typical resident unit. Remodel in process between residents.
129 P_E	Typical resident unit. Remodel in process between residents.
130 P_E	New PTAC operating manual in room 229 - facility is routinely replacing older PTAC units in resident rooms.
131 P_E	Typical resident unit. Remodel in process between residents.

Palm East Continued:

<u>Picture File #</u>	<u>Description</u>
132 P_E	Typical resident unit. Remodel in process between residents.
133 P_E	Typical resident unit. Remodel in process between residents.
134 P_E	Typical resident unit. Remodel in process between residents.
135 P_E	Typical resident unit. Remodel in process between residents.
136 P_E	Palm East - typical attic detail.
137 P_E	Palm East - typical attic detail.
138 P_E	Palm East - typical attic detail.
139 P_E	2nd floor electric closet - telephone patch panel.
140 P_E	Palm East - Carrier Weathermaker rooftop HVAC unit - AC & gas heat.
141 P_E	Palm East - rooftop HVAC unit - AC & gas heat.
142 P_E	Palm East - rooftop HVAC unit - AC & gas heat.
143 P_E	Roof well access door needs to be replaced.
144 P_E	Roof top HVAC units - Kitchen swamp cooler.
145 P_E	Kitchen air handler.
146 P_E	Carrier Weathermaker Rooftop HVAC unit - AC & gas heat.
147 P_E	Rooftop HVAC unit - AC & gas heat.
148 P_E	Rooftop HVAC unit - AC & gas heat.
149 P_E	Rooftop HVAC unit - AC & gas heat; Kitchen walk-in cooler/freezer compressors.
150 P_E	Rooftop HVAC unit - AC & gas heat.
151 P_E	Rooftop HVAC unit - AC & gas heat.
152 P_E	Rooftop HVAC unit - AC & gas heat.
153 P_E	Rooftop HVAC unit - AC & gas heat.
154 P_E	Rooftop HVAC unit - AC & gas heat.
155 P_E	Rooftop HVAC unit - AC & gas heat.
156 P_E	Interior courtyard.
157 P_E	Detail - courtyard doors need repainting.
158 P_E	Interior courtyard.
159 P_E	Interior courtyard.
160 P_E	Interior courtyard.
161 P_E	Interior courtyard.
162 P_E	Interior courtyard.
163 P_E	Detail - gutter, wasp nest under soffit.
164 P_E	Detail - courtyard gutter surface drains to courtyard area drain.
165 P_E	Area drain detail in courtyard.
166 P_E	Faded shuffleboard court.
167 P_E	Elevator equipment room in courtyard.
168 P_E	Detail of elevator equipment room doors - doors will need to be replaced in future years.
169 P_E	Hydraulic elevator equipment - recent repairs/maintenance.
170 P_E	Courtyard detail - water damage outside private dining room (possibly from sprinklers?).
171 P_E	Water damage detail.
172 P_E	Courtyard detail - water damage outside private dining room (possibly from sprinklers?).
173 P_E	Laundry dryer vents - consider adding a wire cage lint trap.
174 P_E	Laundry dryer vents - consider adding a wire cage lint trap.
175 P_E	Soffit vent - needs to be cleaned.
176 P_E	Detail - rotten wood trim on 2nd floor balconies.
177 P_E	Detail - rotten wood trim on 2nd floor balconies.
178 P_E	Detail - balcony drain. Consider adding drain scuppers to extend runoff beyond balcony wall.
179 P_E	Balcony drain scupper with extension.

Palm East Continued:

<u>Picture File #</u>	<u>Description</u>
180 P_E	Detail - rotten wood trim on 2nd floor balconies.
181 P_E	Detail - rotten wood trim on 2nd floor balconies.
182 P_E	Detail - rotten wood trim on 2nd floor balconies.
183 P_E	Detail - rotten wood trim on 2nd floor balconies.
184 P_E	Detail - rotten wood trim on 2nd floor balconies.
185 P_E	Detail - rotten wood trim on 2nd floor balconies.
186 P_E	Detail - rotten wood trim on 2nd floor balconies.
187 P_E	Detail - rotten wood trim on 2nd floor balconies.
188 P_E	Detail - rotten wood trim on 2nd floor balconies.

The Palms – Palm West

Photographs taken 05-02-2007

Picture File

Description

001 P_W Palm West south elevation.
002 P_W Palm West south elevation.
003 P_W Parking between Palm West & Palm East.
004 P_W Porte-cochere entry at Palm West entry.
005 P_W Palm West front (east) elevation;,, main entrance.
006 P_W Palm West front entrance.
007 P_W Palm West front entrance.
008 P_W Palm West front entrance.
009 P_W Reception desk at front entrance.
010 P_W Palm West - Silent Knight fire alarm annunciator panel and Mirtone emergency/nurse call panel.
011 P_W Silent Knight fire alarm annunciator.
012 P_W Mirtone emergency call system annunciator panel.
013 P_W Dining room floor detail - note separated seam in sheet vinyl.
014 P_W Kitchen portable salad bar.
015 P_W Screen wall between dining room and kitchen.
016 P_W Aerohot steam table - consider replacing.
017 P_W Kitchen - Wolf 6-burner stove with griddle and double oven.
018 P_W Kitchen - Wolf 6-burner stove with griddle and double oven.
019 P_W Kitchen - dishwashing area.
020 P_W Kitchen - dry storage.
021 P_W Kitchen - residential refrigerator, Traulsen 2-door freezer. (Note - freezer compressor was replaced 5/2/07).
022 P_W Kitchen - residential refrigerator, Traulsen 2-door freezer. (Note - freezer compressor was replaced 5/2/07).
023 P_W Dining room.
024 P_W Dining room.
025 P_W Dining room.
026 P_W Living room.
027 P_W Living room.
028 P_W Living room.
029 P_W Living room.
030 P_W Living room - dated furniture.
031 P_W Living room - peeling wallpaper.
032 P_W Living room - peeling wallpaper.
033 P_W Living room - peeling wallpaper.
034 P_W West end of South Hall; elevator. Note batter backup emergency light. Also note carpet, rubber wall base, wall paper, chair rail at handrail height, wallpaper border.
035 P_W Original fixture - battery backup emergency lighting, some are being replaced.
036 P_W Water stain in 1st floor corridor. Likely from pipe condensation.
037 P_W Detail - West Hall - wall covering below border, paint above.
038 P_W Corridor detail - carpet, rubber base, corner guards, wall covering below border, paint above border to ceiling.
039 P_W Laundry - singe residential washer& dryer.
040 P_W Public restroom.
041 P_W Elevator interior detail.

Palm West Continued:

<u>Picture File #</u>	<u>Description</u>
042 P_W	Stair detail.
043 P_W	2nd floor storage closet - emergency water supply. (note - maint. supv. did not know age of water canisters or rotation schedule.)
044 P_W	Typical 2nd floor corridor - note carpet, rubber base, wallpaper below border, paint above.
045 P_W	2nd floor living room.
046 P_W	2nd floor living room.
047 P_W	2nd floor living room.
048 P_W	Detail - poor floor base installation.
049 P_W	Detail - poor floor base installation.
050 P_W	2nd floor living room.
051 P_W	2nd floor living room.
052 P_W	2nd floor balcony patio outside living room.
053 P_W	Detail - unusual floor topography on 2nd floor patio.
054 P_W	Kitchen swamp cooler in roof well.
055 P_W	Payne HVAC unit (AC & gas heat) in roof well.
056 P_W	Roof drain in roof well - note drain covers out of place.
057 P_W	Day & Night HVAC unit in roof well - AC & gas heat.
058 P_W	Day & Night HVAC unit in roof well - AC & gas heat.
059 P_W	Day & Night HVAC unit in roof well - AC & gas heat.
060 P_W	Heil HVAC unit in roof well - AC & gas heat.
061 P_W	Heil HVAC unit in roof well - AC & gas heat.
062 P_W	Heil HVAC unit in roof well - AC & gas heat.
063 P_W	Day & Night HVAC unit in roof well - AC & gas heat.
064 P_W	Day & Night HVAC unit in roof well - AC & gas heat.
065 P_W	Palm West south courtyard.
066 P_W	Palm West south courtyard.
067 P_W	Exterior finish coming off building.
068 P_W	Palm West north courtyard.
069 P_W	Palm West north courtyard.
070 P_W	Rotten wood trim on 2nd floor balcony - water penetration behind wood.
071 P_W	Detail - rotten wood trim on 2nd floor balconies.
072 P_W	Detail - rotten wood trim on 2nd floor balconies.
073 P_W	Paving detail - minor surface damage.
074 P_W	Parking between buildings - northwest elevation of Palm East.
075 P_W	North elevation of Palm West looking west.
076 P_W	Sidewalk detail - slopes away from building, appears to pond some water.
077 P_W	Palm West west elevation looking south.
078 P_W	Marketing sign on balcony overlooking north property line.
079 P_W	Marketing sign on balcony overlooking north property line.
080 P_W	Spider webs in exterior alcove - building exterior should be pressure washed.
081 P_W	Exterior finish coming off building.
082 P_W	Electrical closet & elevator equipment rooms.
083 P_W	Hydraulic elevator equipment room.
084 P_W	Main electric service - 1000 Amp main panel.
085 P_W	Main telephone patch panel in electrical room.
086 P_W	Pad mounted electrical transformer.
087 P_W	Southwest property line looking east along road frontage.
088 P_W	Rotten wood trim on windows.

Palm West Continued:

<u>Picture File #</u>	<u>Description</u>
089 P_W	Rotten wood trim on windows.
090 P_W	Rotten wood trim on windows.
091 P_W	American Standard & State 100-gallon water heaters with water treatment system.
092 P_W	State water heater (#2), 100-gal, 260,000 BTUH.
093 P_W	State water heater (#2), 100-gal, 260,000 BTUH.
094 P_W	State water heater (#2), 100-gal, 260,000 BTUH.
095 P_W	American standard water heater (#1), 100-gal, 250,000 BTUH. Installed in 1997, needs to be replaced soon.
096 P_W	American standard water heater (#1), 100-gal, 250,000 BTUH. Installed in 1997, needs to be replaced soon.
097 P_W	Fire sprinkler riser.
098 P_W	Southwest property line looking east along road frontage. Fire stand pipe.
099 P_W	Removed palm tree in public right of way - consider petitioning City to replace tree or fill in with concrete.

The Palms - PALM EAST

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The Palms - PALM EAST

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002 P_E: Facility identification sign. Note broken sign lighting.



003 P_E: Facility identification sign. Note broken sign lighting.



004 P_E: Broken light detail.



005 P_E: Palm East front (south) elevation.

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006 P_E: Main entrance to Palm East.



007 P_E: Front patio outside living room.



008 P_E: Front patio outside living room.



009 P_E: East parking area and facility van.

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010 P_E: Front (south) elevation.



011 P_E: Front parking area looking west to Palm West.



012 P_E: Fire sprinkler stand pipe.



013 P_E: West elevation of Palm East (looking north).

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014 P_E: Palm East service entrance - water heater room & kitchen delivery area.



015 P_E: Parking entrance and parking in front of Palm East.



016 P_E: Asphalt paving detail - minor surface damage.



017 P_E: Asphalt paving detail at Palm West - prior asphalt patch.

The Palms - PALM EAST

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018 P_E: Trash dumpster at service area.



019 P_E: Irrigation sprinkler supply and gas meter.



020 P_E: Water heaters - two for residential-domestic use; one for kitchen.

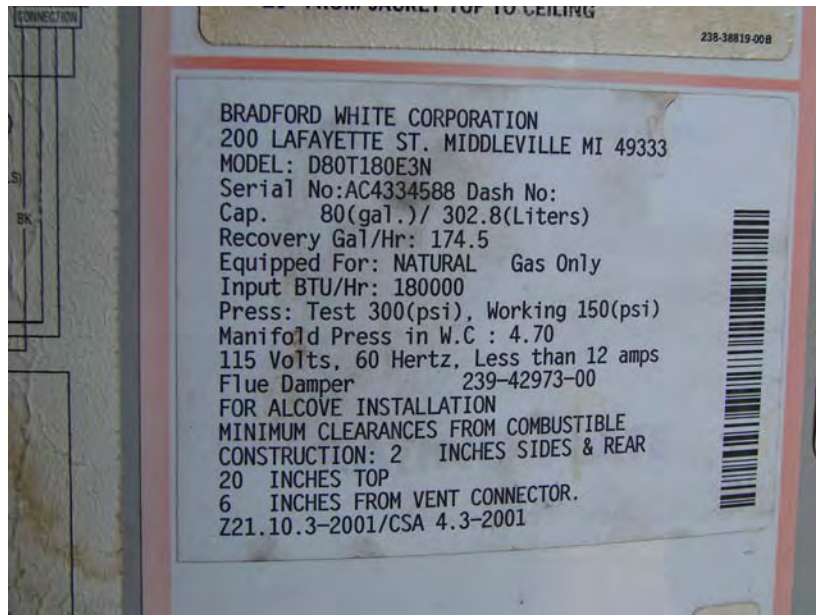


021 P_E: Bradford White water heater (#3), 80-gal, 180,000 BTUH.

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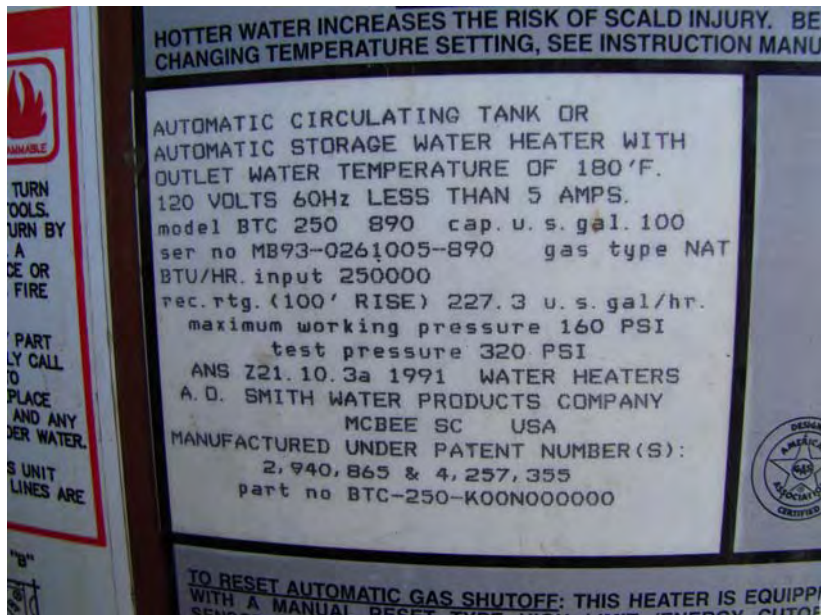
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022 P_E: Bradford White water heater (#3), 80-gal, 180,000 BTUH.



023 P_E: A.O. Smith water heater (#2) - 100-gal, 250,000 BTUH.



024 P_E: A.O. Smith water heater (#2) - 100-gal, 250,000 BTUH.



025 P_E: Bradford White water heater (#1) 100-gal, 270,000 BTUH.



026 P_E: Bradford White water heater (#1) 100-gal, 270,000 BTUH.



027 P_E: Water heaters #1 & 2.



028 P_E: Culligan water treatment system.



029 P_E: Fire sprinkler riser.

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030 P_E: Water damage in water heater closet.



031 P_E: Water damage in water heater closet.



032 P_E: Water damage in water heater closet.



033 P_E: Palm East - west elevation. note rotten wood trim on 2nd floor balconies.

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034 P_E: Detail - rotten wood trim on 2nd floor balconies.



035 P_E: Landscape area on exterior of Palm East west elevation.



036 P_E: Palm East east elevation looking north. Storage building and main electrical closet at stair well #3.



037 P_E: 2000 Amp main electric panel (Palm East).

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038 P_E: Detail - rotten beam.



039 P_E: Detail - rotten beam.



040 P_E: Palm East east elevation looking north.



041 P_E: East elevation looking south.

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042 P_E: Detail - rotten trim on 2nd floor balcony.



043 P_E: Detail - rotten trim on 2nd floor balcony.



044 P_E: Detail - rotten trim on 2nd floor balcony.



045 P_E: Wall patch on east elevation at PTAC unit.

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046 P_E: Wall patch on east elevation at balcony.



047 P_E: North property line looking west.



048 P_E: Open CATV junction box.



049 P_E: Open CATV junction box.

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050 P_E: North property line looking east.



051 P_E: Exit gate to parking lot between Palm East & Palm West.



052 P_E: Main entrance to Palm East.



053 P_E: Front entry.

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054 P_E: Front entry with reception desk and door into courtyard.



055 P_E: Reception desk at Palm East entrance.



056 P_E: Rauland emergency-nurse call annunciator panel at front entry reception desk.



057 P_E: Living room.

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058 P_E: Living room.



059 P_E: Living room.



060 P_E: Living room.



061 P_E: Living room.

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062 P_E: Living room.



063 P_E: Living room.



064 P_E: Living room.



065 P_E: Living room.

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066 P_E: Main dining room.



067 P_E: Main dining room.



068 P_E: Main dining room - screen wall with kitchen access.



069 P_E: Staples and old decoration streamers in Dining room.

The Palms - PALM EAST

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070 P_E: Main dining room - screen wall-kitchen access.



071 P_E: Kitchen - walk-in freezer-cooler.



072 P_E: Kitchen - Wolf 6-burner stove with double oven & griddle; Vulcan convection ovens (2).



073 P_E: Kitchen - Wolf 6-burner stove with double oven & griddle; Vulcan convection ovens (2).



074 P_E: Kitchen - rinse area.



075 P_E: Kitchen - dishwashing area.



076 P_E: 1st floor West Hall storage closet.



077 P_E: Kitchen - ceiling repair in dry storage (fire sprinkler pipe leak).

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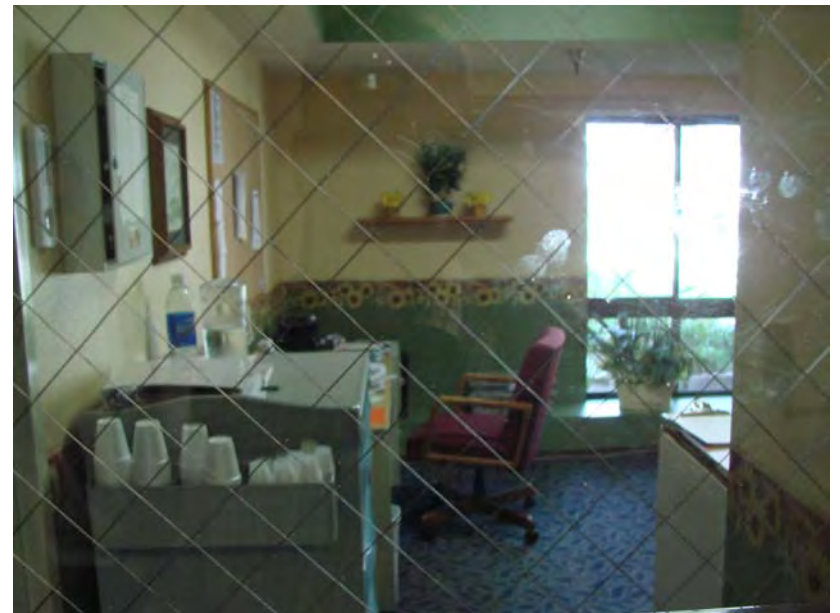
078 P_E: 1st floor private dining.



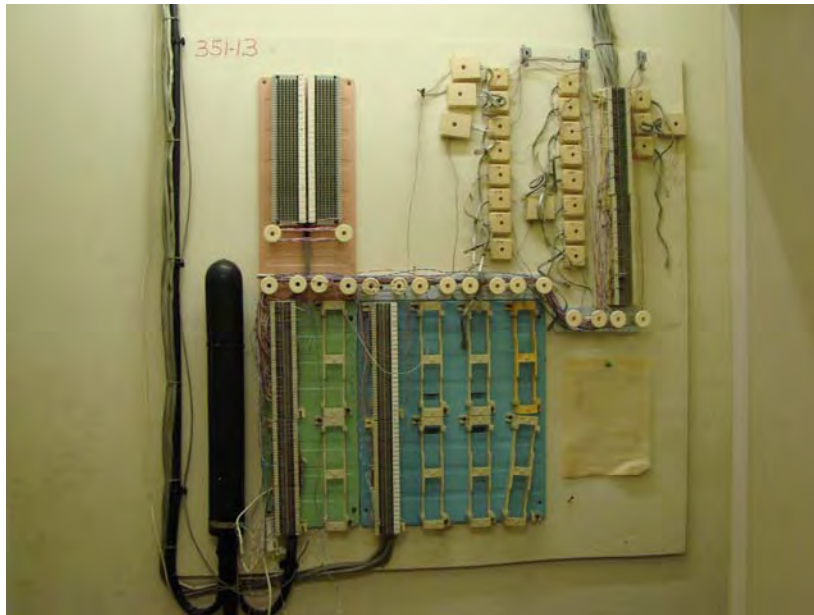
079 P_E: 1st floor private dining.



080 P_E: 1st floor private dining - view into interior courtyard.



081 P_E: Ned-room across from Kitchen.



082 P_E: 1st Floor West Hall electrical room with telephone patch panel.



083 P_E: Laundry room - residential washers & dryers.



084 P_E: West Hall alcove leading to interior courtyard.



085 P_E: New emergency light. Note paint mark from original light outline.

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086 P_E: Rauland emergency-nurse call annunciator panel at north end of 1st Floor West Hall.



087 P_E: Detail - wallpaper border peeling at wall corner. (Note - staff has not yet begun 1st floor painting improvements.



088 P_E: Darks spots on ceiling tile - consider repainting grid and replacing-painting ceiling tile.



089 P_E: Typical 1st floor corridor - carpet, wood base, painted walls, wallpaper border at handrail height.

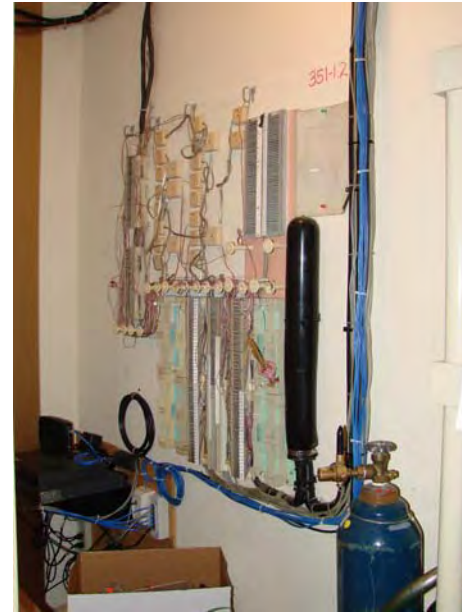
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090 P_E: Transition from front (south) corridor to East Hall. Note carpet change.



091 P_E: Telephone patch panel in electric closet (Palm East).



092 P_E: Elevator interior detail.



093 P_E: Palm East - typical 2nd floor corridor. Wood base, painted walls, no handrails, wallpaper border transition. Paint and border are currently being

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094 P_E: 2nd floor storage closet at #3 Stairs - emergency water supply. (note - maint. supv. did not know age of water canisters or rotation schedule.)



095 P_E: Palm East - 2nd floor public restroom.



096 P_E: Palm East - 2nd floor public restroom.



097 P_E: Palm East - 2nd floor public restroom.



098 P_E: Beauty Shop.



099 P_E: Beauty shop.



100 P_E: Beauty shop storage - consider removing wall to enlarge beauty shop.



101 P_E: Staff break room - 2nd floor.

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102 P_E: 2nd floor TV-Activity room.



103 P_E: 2nd floor TV-Activity room.



104 P_E: 2nd floor TV-Activity room.



105 P_E: 2nd floor TV-Activity room.

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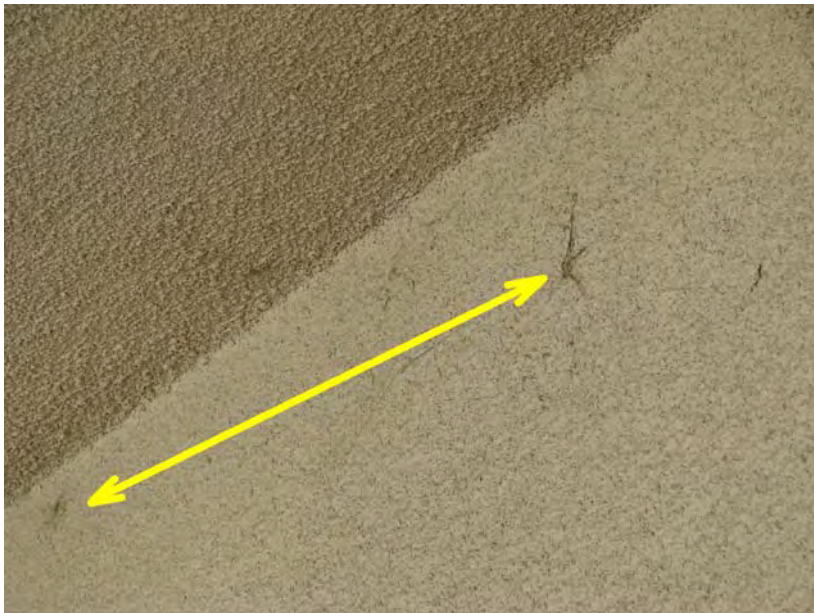
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106 P_E: 2nd floor TV-Activity room.



107 P_E: 2nd floor porch outside TV-Activities rooms.



108 P_E: Porch detail - spider webs near ceiling; building exterior needs to be pressure washed.



109 P_E: 2nd floor game-recreation room.

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110 P_E: 2nd floor game-recreation room.



111 P_E: 2nd floor game-recreation room.



112 P_E: 2nd floor game-recreation room.



113 P_E: 2nd floor game-recreation room.



114 P_E: Palm East - typical 2nd floor corridor. Wood base, painted walls, no handrails, wallpaper border transition. Paint and border are currently being



115 P_E: Rauland emergency-nurse call annunciator panel - 2nd floor (South end of West Hall).



116 P_E: 2nd Floor West Hall electrical closet; telephone patch panel.



117 P_E: Public Address speaker, fire alarm, house phone - 2nd floor West Hall.



118 P_E: Public Address speaker, battery back-up emergency lighting (no emergency generator).



119 P_E: 2nd floor West Hall looking south.



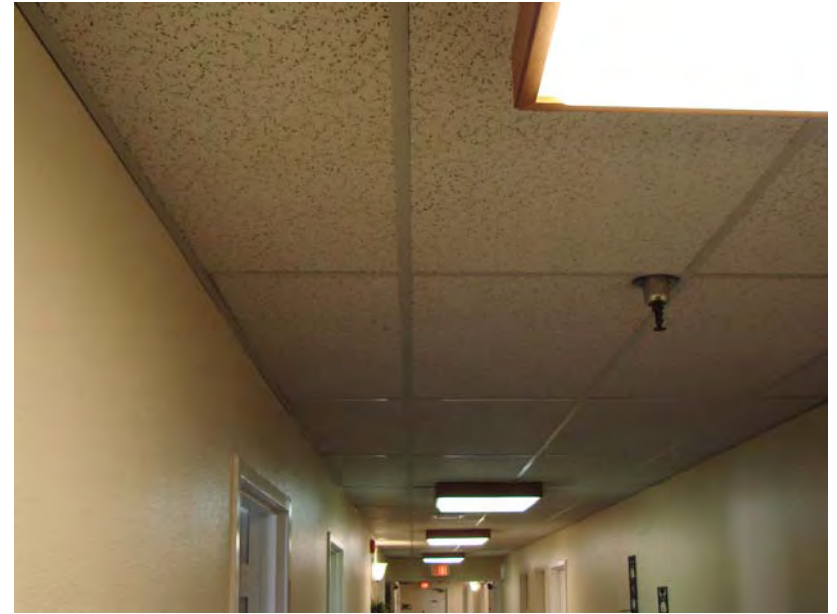
120 P_E: 2nd floor north hall storage closet.



121 P_E: Ships' ladder in storage closet to roof well.



122 P_E: HVAC (AC & gas heat) unit in roof well above storage closet.



123 P_E: Acoustic lay-in ceiling tile - consider repainting ceiling grid. Replace or paint tile.



124 P_E: 2nd floor east hall @ north end. Note missing wallpaper border - staff i sin the process of installing border after painting corridor walls.



125 P_E: 2nd floor East Hall storage closet.

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126 P_E: Typical room signage.



127 P_E: Typical resident unit. Remodel in process between residents. Note use of accent wall; new PTAC unit.



128 P_E: Typical resident unit. Remodel in process between residents.



129 P_E: Typical resident unit. Remodel in process between residents.



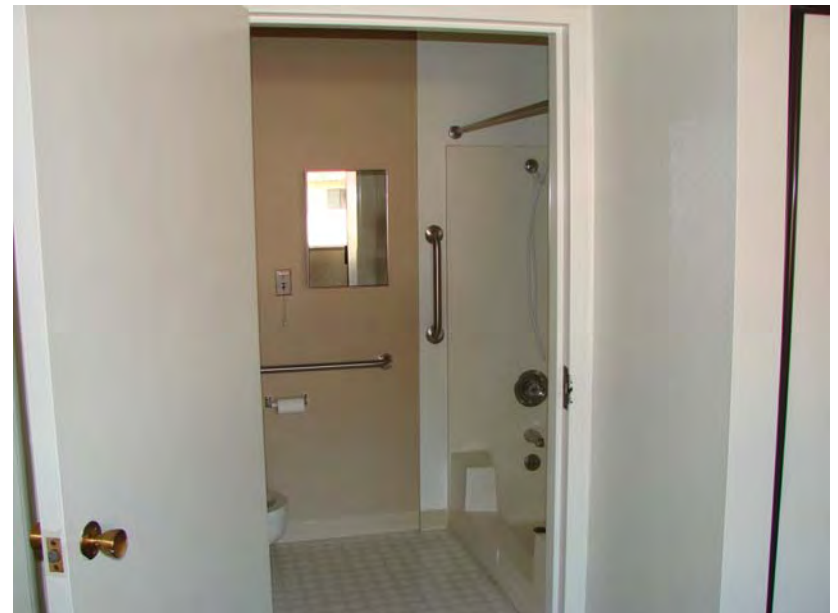
130 P_E: New PTAC operating manual in room 229 - facility is routinely replacing older PTAC units in resident rooms.



131 P_E: Typical resident unit. Remodel in process between residents.



132 P_E: Typical resident unit. Remodel in process between residents.



133 P_E: Typical resident unit. Remodel in process between residents.

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134 P_E: Typical resident unit. Remodel in process between residents.



135 P_E: Typical resident unit. Remodel in process between residents.



136 P_E: Palm East - typical attic detail.



137 P_E: Palm East - typical attic detail.

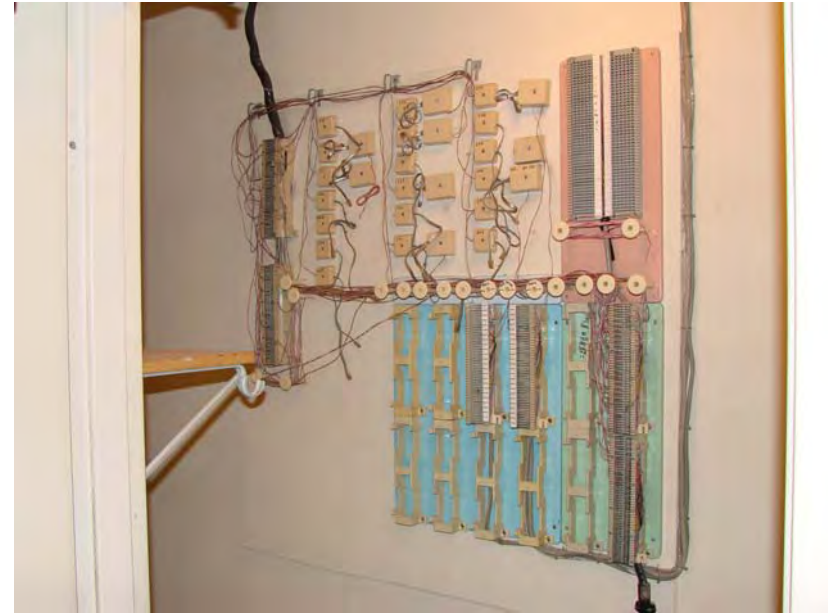
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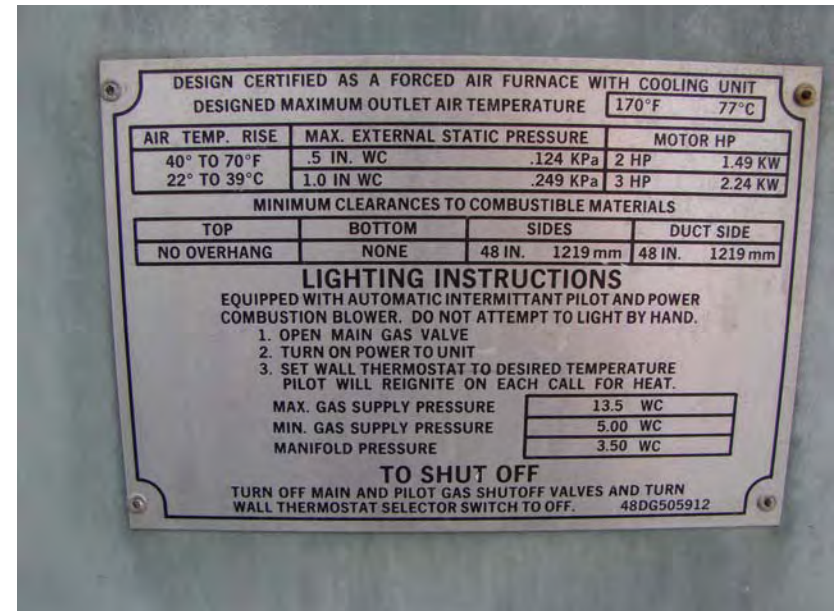
138 P_E: Palm East - typical attic detail.



139 P_E: 2nd floor electric closet - telephone patch panel.



140 P_E: Palm East - Carrier Weathermaker rooftop HVAC unit - AC & gas heat.

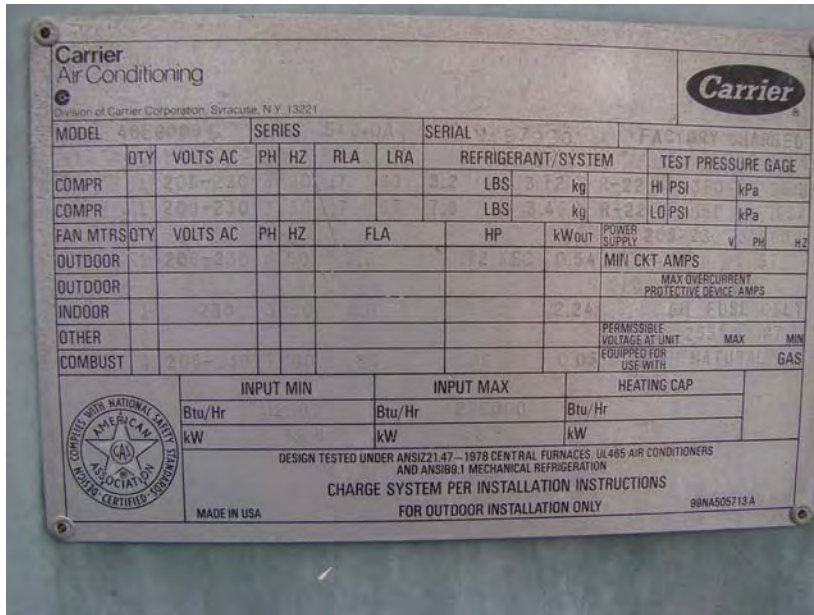


141 P_E: Palm East - rooftop HVAC unit - AC & gas heat.

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142 P_E: Palm East - rooftop HVAC unit - AC & gas heat.



143 P_E: Roof well access door needs to be replaced.



144 P_E: Roof top HVAC units - Kitchen swamp cooler.



145 P_E: Kitchen air handler.

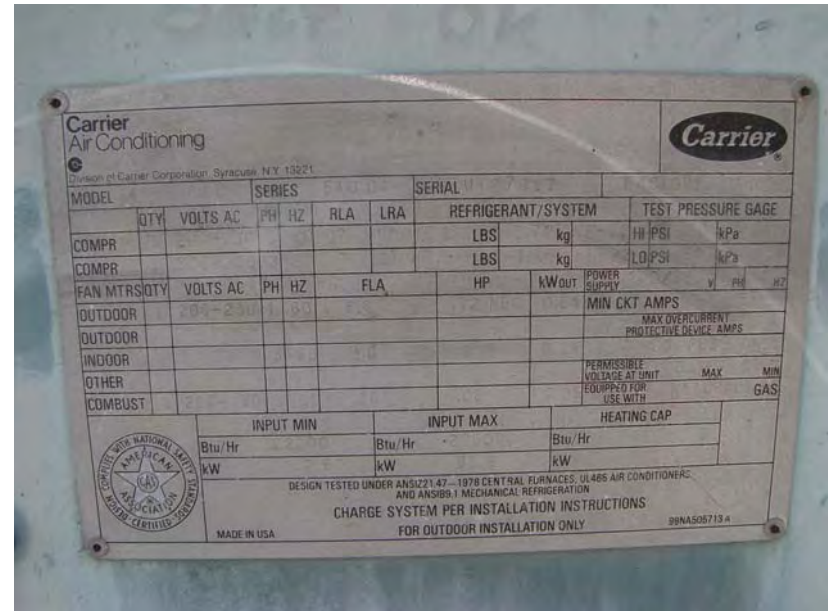
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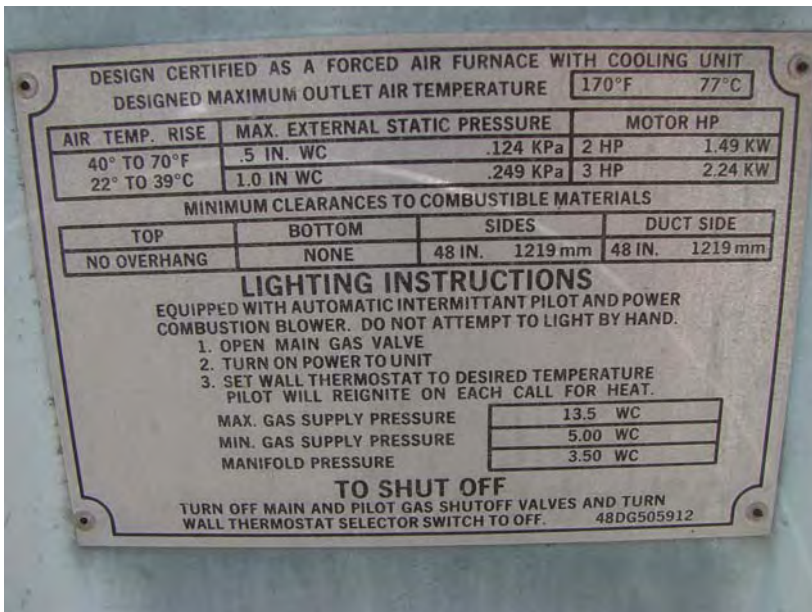
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146 P_E: Carrier Weathermaker Rooftop HVAC unit - AC & gas heat.



147 P_E: Rooftop HVAC unit - AC & gas heat.



148 P_E: Rooftop HVAC unit - AC & gas heat.

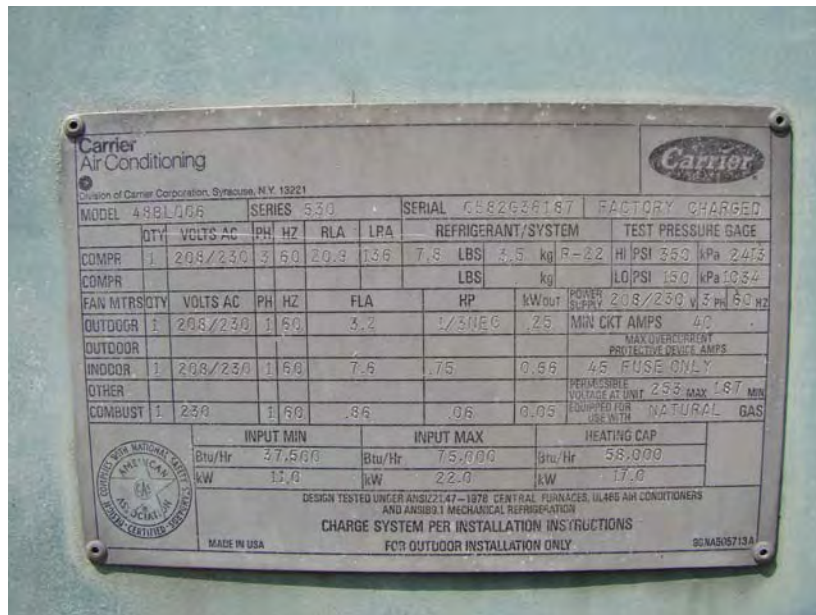


149 P_E: Rooftop HVAC unit - AC & gas heat; Kitchen walk-in cooler-freezer compressors.

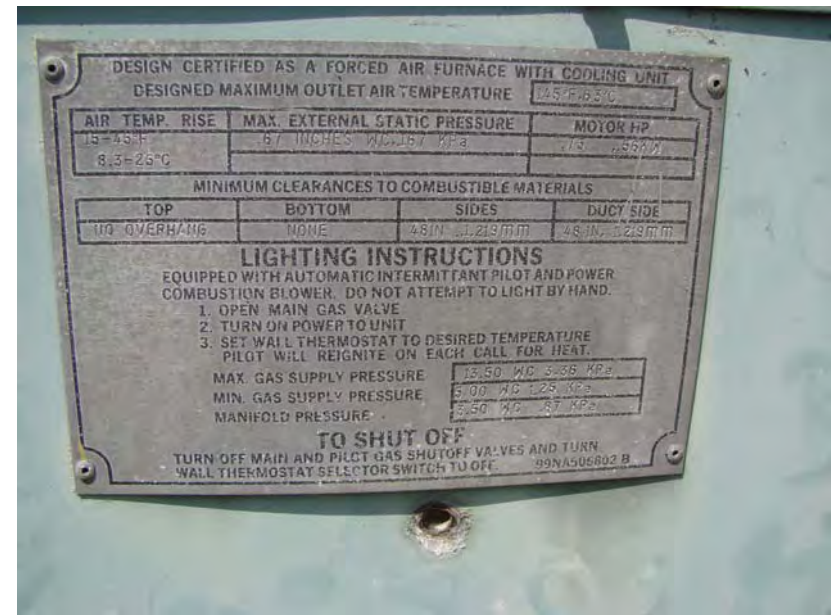
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150 P_E: Rooftop HVAC unit - AC & gas heat.



151 P_E: Rooftop HVAC unit - AC & gas heat.



152 P_E: Rooftop HVAC unit - AC & gas heat.



153 P_E: Rooftop HVAC unit - AC & gas heat.

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154 P_E: Rooftop HVAC unit - AC & gas heat.



155 P_E: Rooftop HVAC unit - AC & gas heat.



156 P_E: Interior courtyard.



157 P_E: Detail - courtyard doors need repainting.

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158 P_E: Interior courtyard.



159 P_E: Interior courtyard.



160 P_E: Interior courtyard.



161 P_E: Interior courtyard.



162 P_E: Interior courtyard.



163 P_E: Detail - gutter, wasp nest under soffit.



164 P_E: Detail - courtyard gutter surface drains to courtyard area drain.



165 P_E: Area drain detail in courtyard.



166 P_E: Faded shuffleboard court.



167 P_E: Elevator equipment room in courtyard.



168 P_E: Detail of elevator equipment room doors - doors will need to be replaced in future years.



169 P_E: Hydraulic elevator equipment - recent repairs-maintenance.



170 P_E: Courtyard detail - water damage outside private dining room (possibly from sprinklers-).



171 P_E: Water damage detail.



172 P_E: Courtyard detail - water damage outside private dining room (possibly from sprinklers-).



173 P_E: Laundry dryer vents - consider adding a wire cage lint trap.



174 P_E: Laundry dryer vents - consider adding a wire cage lint trap.



175 P_E: Soffit vent - needs to be cleaned.



176 P_E: Detail - rotten wood trim on 2nd floor balconies.



177 P_E: Detail - rotten wood trim on 2nd floor balconies.



178 P_E: Detail - balcony drain. Consider adding drain scuppers to extend runoff beyond balcony wall.



179 P_E: Balcony drain scupper with extension.



180 P_E: Detail - rotten wood trim on 2nd floor balconies.



181 P_E: Detail - rotten wood trim on 2nd floor balconies.



182 P_E: Detail - rotten wood trim on 2nd floor balconies.



183 P_E: Detail - rotten wood trim on 2nd floor balconies.



184 P_E: Detail - rotten wood trim on 2nd floor balconies.



185 P_E: Detail - rotten wood trim on 2nd floor balconies.



186 P_E: Detail - rotten wood trim on 2nd floor balconies.



187 P_E: Detail - rotten wood trim on 2nd floor balconies.



188 P_E: Detail - rotten wood trim on 2nd floor balconies.

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The Palms - PALM WEST
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351 East Palm Drive, Anytown, USA 01995
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002 P_W: Palm West south elevation.



003 P_W: Parking between Palm West & Palm East.



004 P_W: Porte cochere entry at Palm West entry.



005 P_W: Palm West front (east) elevation;, main entrance.

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006 P_W: Palm West front entrance.



007 P_W: Palm West front entrance.



008 P_W: Palm West front entrance.



009 P_W: Reception desk at front entrance.



010 P_W: Palm West - Silent Knight fire alarm annunciator panel and Mirtone emergency-nurse call panel.



011 P_W: Silent Knight fire alarm annunciator.



012 P_W: Mirtone emergency call system annunciator panel.



013 P_W: Dining room floor detail - note separated seam in sheet vinyl.



014 P_W: Kitchen portable salad bar.



015 P_W: Screen wall between dining room and kitchen.



016 P_W: Aerohot steam table - consider replacing.



017 P_W: Kitchen - Wolf 6-burner stove with griddle and double oven.

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018 P_W: Kitchen - Wolf 6-burner stove with griddle and double oven.



019 P_W: Kitchen - dishwashing area.



020 P_W: Kitchen - dry storage.



021 P_W: Kitchen - residential refrigerator, Traulsen 2-door freezer. (Note - freezer compressor was replaced 5-2-07).

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022 P_W: Kitchen - residential refrigerator, Traulsen 2-door freezer. (Note - freezer compressor was replaced 5-2-07).



023 P_W: Dining room.



024 P_W: Dining room.



025 P_W: Dining room

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026 P_W: Living room.



027 P_W: Living room.



028 P_W: Living room.



029 P_W: Living room.

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030 P_W: Living room - dated furniture.



031 P_W: Living room - peeling wallpaper.



032 P_W: Living room - peeling wallpaper.



033 P_W: Living room - peeling wallpaper.

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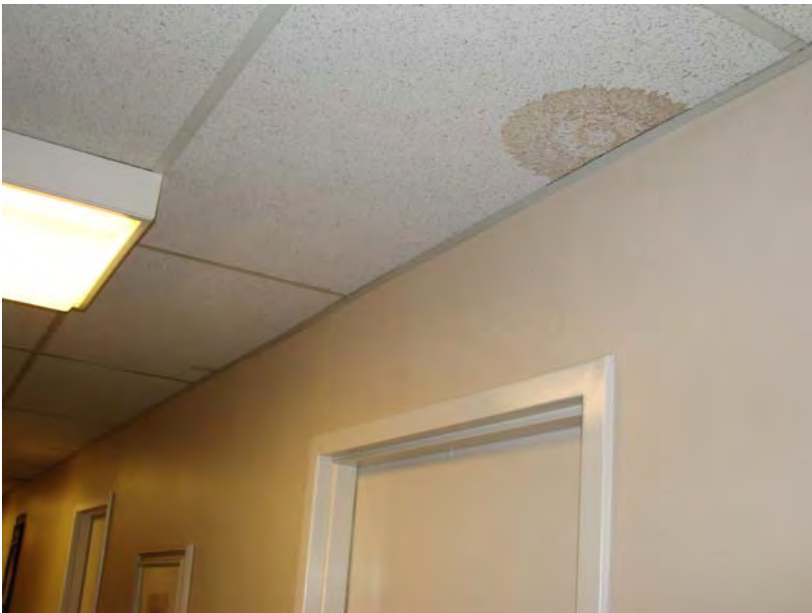
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034 P_W: West end of South Hall; elevator. Note batter backup emergency light. Also note carpet, rubber wall base, wall paper, chair rail at handrail height,



035 P_W: Original fixture - battery backup emergency lighting, some are being replaced.



036 P_W: Water stain in 1st floor corridor. Likely from pipe condensation.



037 P_W: Detail - West Hall - wall covering below border, paint above.

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038 P_W: Corridor detail - carpet, rubber base, corner guards, wall covering below border, paint above border to ceiling.



039 P_W: Laundry - single residential washer & dryer.



040 P_W: Public restroom.

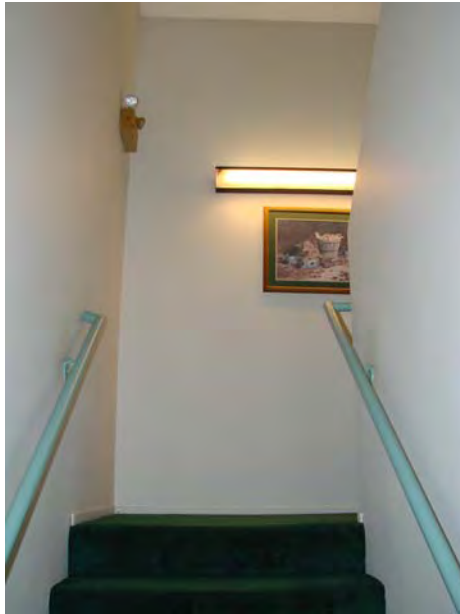


041 P_W: Elevator interior detail.

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042 P_W: Stair detail.



043 P_W: 2nd floor storage closet - emergency water supply. (note - maint. supv. did not know age of water canisters or rotation schedule.)



044 P_W: Typical 2nd floor corridor - note carpet, rubber base, wallpaper below border, paint above.



045 P_W: 2nd floor living room.



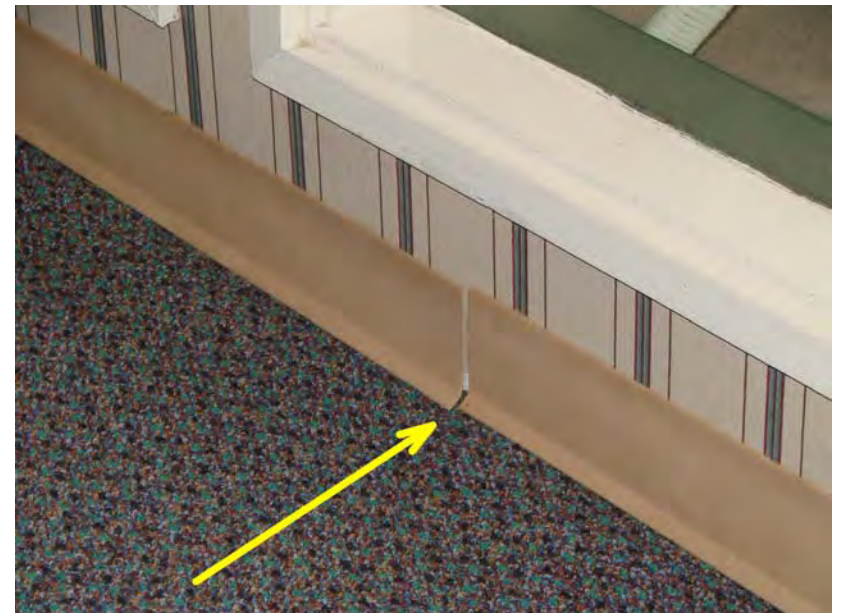
046 P_W: 2nd floor living room.



047 P_W: 2nd floor living room.



048 P_W: Detail - poor floor base installation.



049 P_W: Detail - poor floor base installation.

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050 P_W: 2nd floor living room.



051 P_W: 2nd floor living room.



052 P_W: 2nd floor balcony patio outside living room.



053 P_W: Detail - unusual floor topography on 2nd floor patio.



054 P_W: Kitchen swamp cooler in roof well.



055 P_W: Payne HVAC unit (AC & gas heat) in roof well.



056 P_W: Roof drain in roof well - note drain covers out of place.



057 P_W: Day & Night HVAC unit in roof well - AC & gas heat.

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058 P_W: Day & Night HVAC unit in roof well - AC & gas heat.



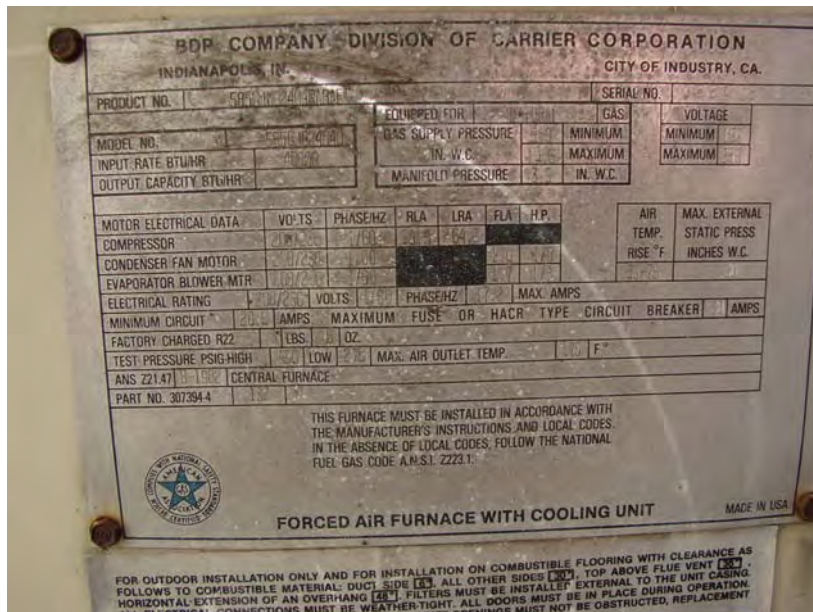
059 P_W: Day & Night HVAC unit in roof well - AC & gas heat.



060 P_W: Heil HVAC unit in roof well - AC & gas heat.



061 P_W: Heil HVAC unit in roof well - AC & gas heat.



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066 P_W: Palm West south courtyard.



067 P_W: Exterior finish coming off building.



068 P_W: Palm West north courtyard.



069 P_W: Palm West north courtyard.

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070 P_W: Rotten wood trim on 2nd floor balcony - water penetration behind wood.



071 P_W: Detail - rotten wood trim on 2nd floor balconies.



072 P_W: Detail - rotten wood trim on 2nd floor balconies.



073 P_W: Paving detail - minor surface damage.

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074 P_W: Parking between buildings - northwest elevation of Palm East.



075 P_W: North elevation of Palm West looking west.



076 P_W: Sidewalk detail - slopes away from building, appears to pond some water.



077 P_W: Palm West west elevation looking south.

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078 P_W: Marketing sign on balcony overlooking north property line.



079 P_W: Marketing sign on balcony overlooking north property line.



080 P_W: Spider webs in exterior alcove - building exterior should be pressure washed.



081 P_W: Exterior finish coming off building.



082 P_W: Electrical closet & elevator equipment rooms.



083 P_W: Hydraulic elevator equipment room.



084 P_W: Main electric service - 1000 Amp main panel.



085 P_W: Main telephone patch panel in electrical room.

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086 P_W: Pad mounted electrical transformer.



087 P_W: Southwest property line looking east along road frontage.



088 P_W: Rotten wood trim on windows.



089 P_W: Rotten wood trim on windows.



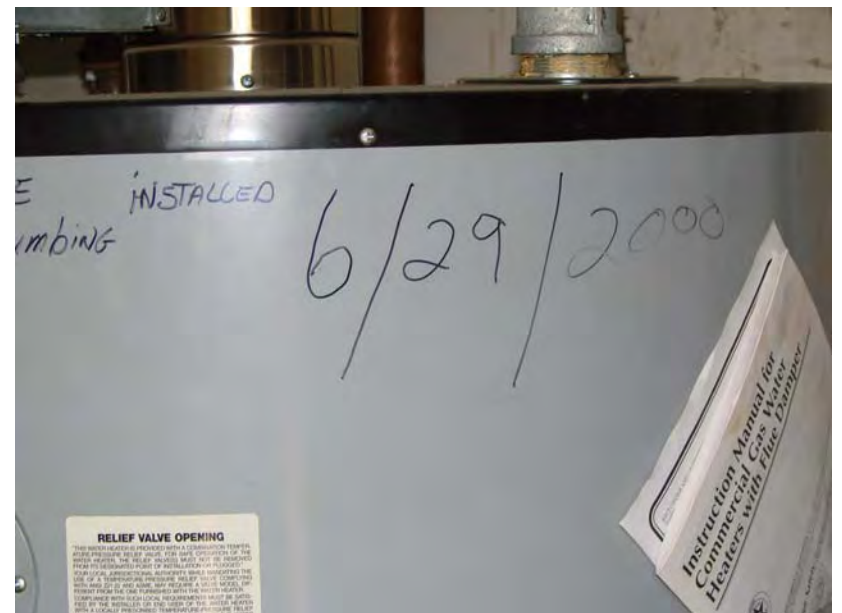
090 P_W: Rotten wood trim on windows.



091 P_W: American Standard & State 100-gallon water heaters with water treatment system.



092 P_W: State water heater (#2), 100-gal, 260,000 BTUH.

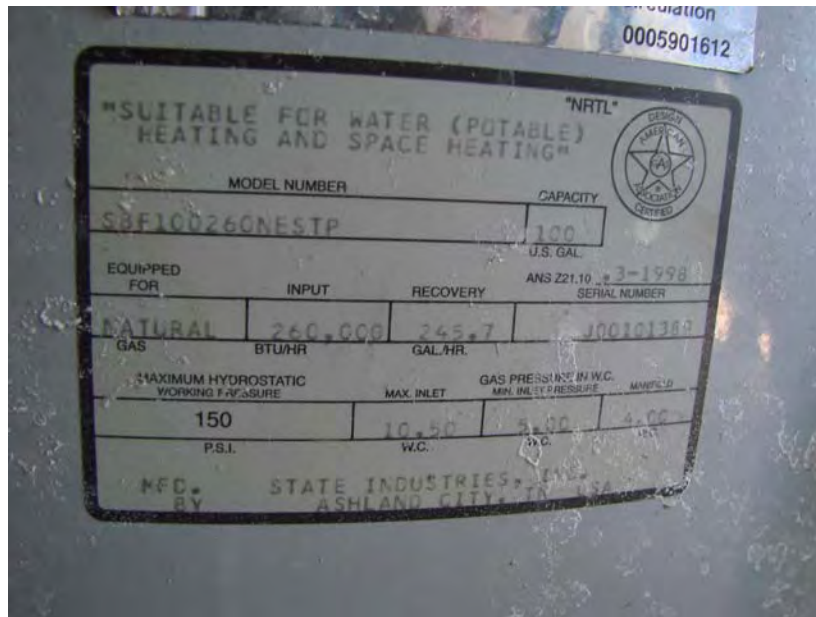


093 P_W: State water heater (#2), 100-gal, 260,000 BTUH.

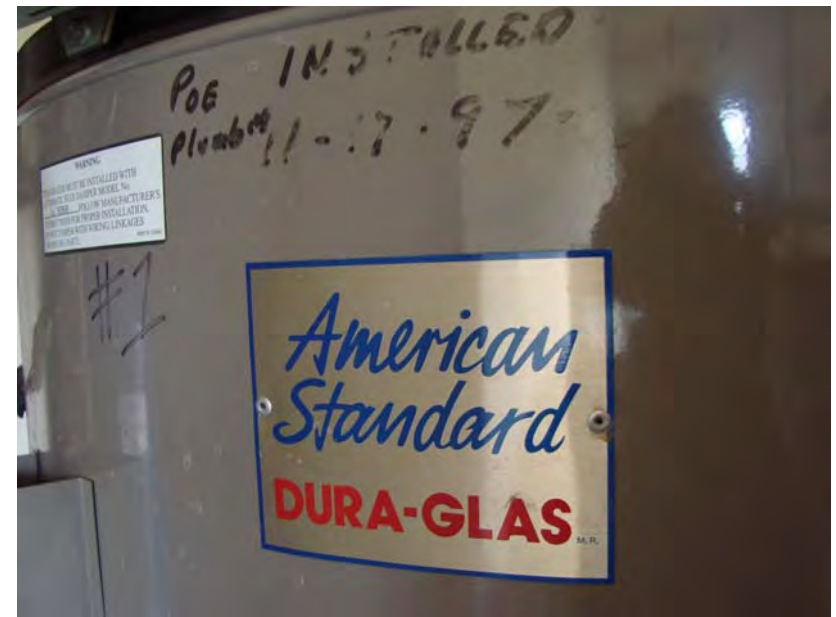
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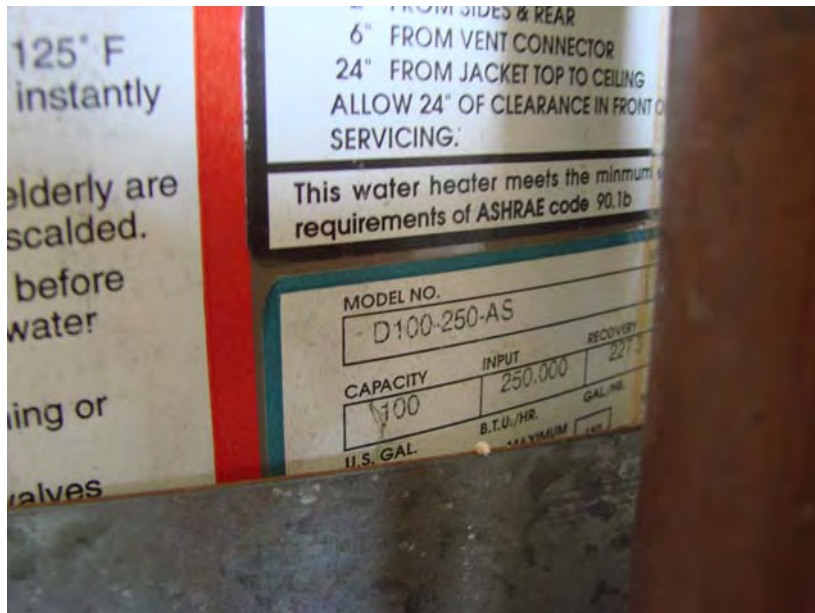
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094 P_W: State water heater (#2), 100-gal, 260,000 BTUH.



095 P_W: American standard water heater (#1), 100-gal, 250,000 BTUH. Installed in 1997, needs to be replaced soon.



096 P_W: American standard water heater (#1), 100-gal, 250,000 BTUH. Installed in 1997, needs to be replaced soon.



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098 P_W: Southwest property line looking east along road frontage. Fire stand pipe.



099 P_W: Removed palm tree in public right of way - consider petitioning City to replace tree or fill in with concrete.

